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Conditional Use Permit-Alcohol (CUB) Specific Plan Project Permit Compliance (SPP) Additional Information/Findings 15003 W Ventura Boulevard

Sherman Oaks 1, L.P. (A)
12430 Riverside Dr.
Valley Village, CA 91607

Sherman Oaks-Studio City-Toluca Lake-Cahuenga Pass
Community Planning Area
Zone: C2-1L
C.D.: 4

(1) Gross Family Limited Partnership, (2)
Daniel Abitboul Trust, (3) Jeanne Van Helden
Trust and (4) Belinda Israel Trust (O)
1960 E GRAND AVENUE #811
El Segundo, CA 90245

Legal Description: Tract TR 6836, Block 2, Lots 1-2, and
3 ARB 1

FE Design & Consulting (R)
327 E. 2nd St. #222
Los Angeles, CA 90012

REQUEST

A Conditional Use Permit to allow the sale and dispensing of a full line of alcohol in conjunction with a new 665 s.f. bar having 22 seats and a 41 s.f. patio with 8 seats.

Specific Plan Project Permit Compliance for a change of use in the Ventura/Cahuenga Boulevard Specific Plan and for a waiver from 4 parking spaces.

A Conditional Use Permit to allow hours of operation from 11 a.m. to 2 a.m. Monday to Friday, and 9 a.m. to 2 a.m. Saturday and Sunday in lieu of the 7 a.m. to 11 p.m. restriction in a mini shopping center and on a Commercial Corner.



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BACKGROUND

The subject property is a parallelogram-shaped parcel consisting of three tied lots totaling approximately 9,618.424 square feet. The property has a frontage of 89 feet along the north side of Ventura Boulevard and 110 feet along the west side of Lemona Avenue. The site houses a plaza with retail and restaurant uses, as well as associated surface parking in the rear of the site. The plaza was developed in 1959 per building permit and certificate of occupancy 1959LA42141. The use of the plaza at the time was “stores” with 20 parking stalls shown on the site plan, and the address is listed as 15001-15005-15009 Ventura. Building permit and certificate of occupancy 1983VN62864 converted a 30’x50’ portion of the plaza to restaurant. This area is “The Tippy Cow” today, and the address is 15005 Ventura. The permit and C of O indicate that there was no additional parking required as part of this change of use. Building permit and certificate of occupancy 09016-20000-21484 was for a change of use at 15001 Ventura, the corner unit, from retail to a yogurt shop with no dine-in seating. The permits state that three additional parking stalls are required as part of the change of use, but the certificate of occupancy states that there are still 20 stalls required and provided.

The subject unit for the instant request is 15003 Ventura, which is in the middle of the plaza. The space is rented out by the owners of “The Tippy Cow”, the restaurant next door. They had previously used it as restaurant storage. In February 2019, they opened “Buvette”, a wine bar, in the space using the liquor license from The Tippy Cow. Since it was part of their leasehold, they assumed that the unit was part of their license. Unfortunately, the business was forced to close shortly after it opened when the owners were made aware that the space was not included in the licensed area on their liquor license. A review of the building records show that this space was not included in the restaurant permit, and as such is still permitted as retail. As a result, a change of use permit is required in addition to a Conditional Use Permit request to have alcohol service in this area. The applicants would like to have the same type of service in this area as they have in The Tippy Cow. The subject request is therefore a conditional use to allow a Type 48 bar license as well as a Conditional Use Permit for hours until 2 a.m. daily in a mini-shopping center and on a commercial corner.

Buvette is a small 665 s.f. space with a bar counter and intimate booth seating. There is a small patio in front which mirrors the existing patio at The Tippy Cow. The proposed hours of operation match the normal hours of operation at The Tippy Cow. Although the bar won’t open until the afternoon most days, they would like the flexibility to open earlier and offer food from the Tippy Cow menu, especially on weekends. The Buvette space could be used to do a specialty brunch in a more intimate setting. All alcohol would always come from the Buvette menu and bar, but the Type 48 will allow them to offer similar service and menu to what they offer next door. The daytime hours of operation will give them the chance to have food service in the space for special occasions or events. For that reason, the request includes the morning hours found at the Tippy Cow.



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Because of the change of use, there will be a change in the parking requirement. The parking requirement for a change of use is calculated by subtracting the parking requirement for the current use at today's rate from the parking requirement for the new use at today's rate.

Retail parking requirement: 665 s.f. at 1 space per 250 s.f. = $665/250 = 2.66$

Bar parking requirement: 665 s.f. at 1 space per 100 s.f. = $665/100 = 6.65$

The difference would be $6.65 - 2.66 = 3.99 = 4$ **required parking spaces**

These parking calculations have been vetted by the Department of Building and Safety, and the unit is currently in plan check under permit number 20016-20000-09847. The existing parking lot will not be impacted as a result of the change of use. The existing parking is completely tied to the existing uses on the property, and there is no additional space to provide the required parking. As a result, the applicants must look for relief from parking requirements in the zoning code.

Per the Ventura Specific Plan Section 7 F 2:

Alternative For Parking. For Projects where a change-of-use or a new addition of less than 1,000 square feet require additional parking requirements of up to ten parking spaces that cannot be met on-site or through existing public parking facilities, the Applicant shall enter into a covenant and agreement with the Department of Transportation to pay one hundred dollars per month, per deficient parking space, into the Community's Parking Revenue Fund for as long as the Project parking deficiency continues to exist.

Since this project is a change of use which triggers less than 10 additional parking spaces, we are eligible to pay \$100/month per stall which in this case would equal \$400/month. We will work with the Department of Transportation to put together the Covenant and Agreement for this fee, which we understand must be paid every month, even if the property is vacant.

In addition to paying the monthly fee, the existing on-site parking lot will be available to patrons. The property owner has a parking attendant during busy hours, so they are able to park surplus customer cars on-site as needed. Other than The Topsy Cow, the other units in the plaza are closed in the evenings, when Buvette is at its peak hours. The parking lot will therefore be largely available to Buvette patrons in the evening. In addition, as a bar, it's expected that many patrons will choose to arrive by means other than a private automobile. The rise in ride share has made it feasible for bar patrons to leave the car at home and use Uber or Lyft to get to their destination, especially when they intend to drink alcohol.



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Details of the project are as follows:

	New Approval
Use	Wine Bar
Square Footage	655 sq. ft.
Unit/Address	15003 W Ventura Blvd, Los Angeles, CA 91403
Hours of Operation	11 a.m. to 2 a.m. Monday to Friday, 9 a.m. to 2 a.m. Saturday and Sunday
Type of Alcohol	Full line
Food	Snacks and food service from next door restaurant during some hours
Happy Hour	Yes
Patron Seats	30 (19 interior, 11 exterior)
Live Entertainment	No
Dancing	No
On-Site Sales	Yes
Off-Site Sales	No retail area or advertising of retail wine sales, but patrons can purchase wine to-go as allowed by their Type 48 licensing privileges
Parking	20 parking stalls provided on-site, 4 additional parking stalls to be provided via DOT covenant

SCOPE OF WORK:

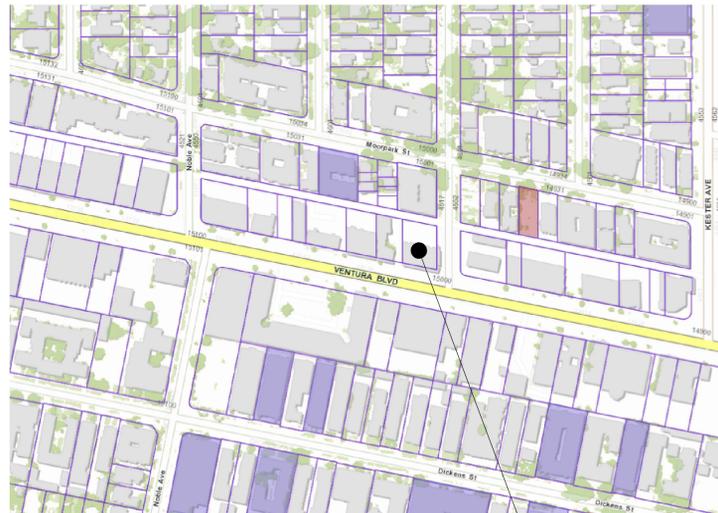
TENANT IMPROVEMENT & CHANGE OF USE TO EXISTING RETAIL SHOP TO NEW RESTAURANT. NO CHANGE TO EXISTING PARKING LOT.

PROJECT DESCRIPTION

DESIGN CODES:	DESIGN CODES: ALL CODES SHALL CONFORM TO THE 2019 CBC, CMC, CPC, CEC, CFC, 2019 ENERGY EFFICIENCY STANDARDS, AND THE CITY OF LOS ANGELES 2020 AMENDMENTS CODES
OCCUPANCY:	B
OCCUPANCY LOAD:	16
APN #:	2264-016-001
LEGAL DESC.:	TRACT # 6836 LOTS 1 AND 2 AND SE 10 FT MEASURED ON NE AND SW LINES OF LOT 3 BLK 2
LOT SIZE:	9,613 SQ.FT.
BUILDING AREA:	4,361 SQ.FT.
AREA OF WORK:	665 SQ.FT.
TYPE OF CONSTRUCTION:	TYPE V-B (NON-SPRINKLERED)
ZONING INFORMATION:	C2-1L
# OF EMPLOYEES PER SHIFT:	4

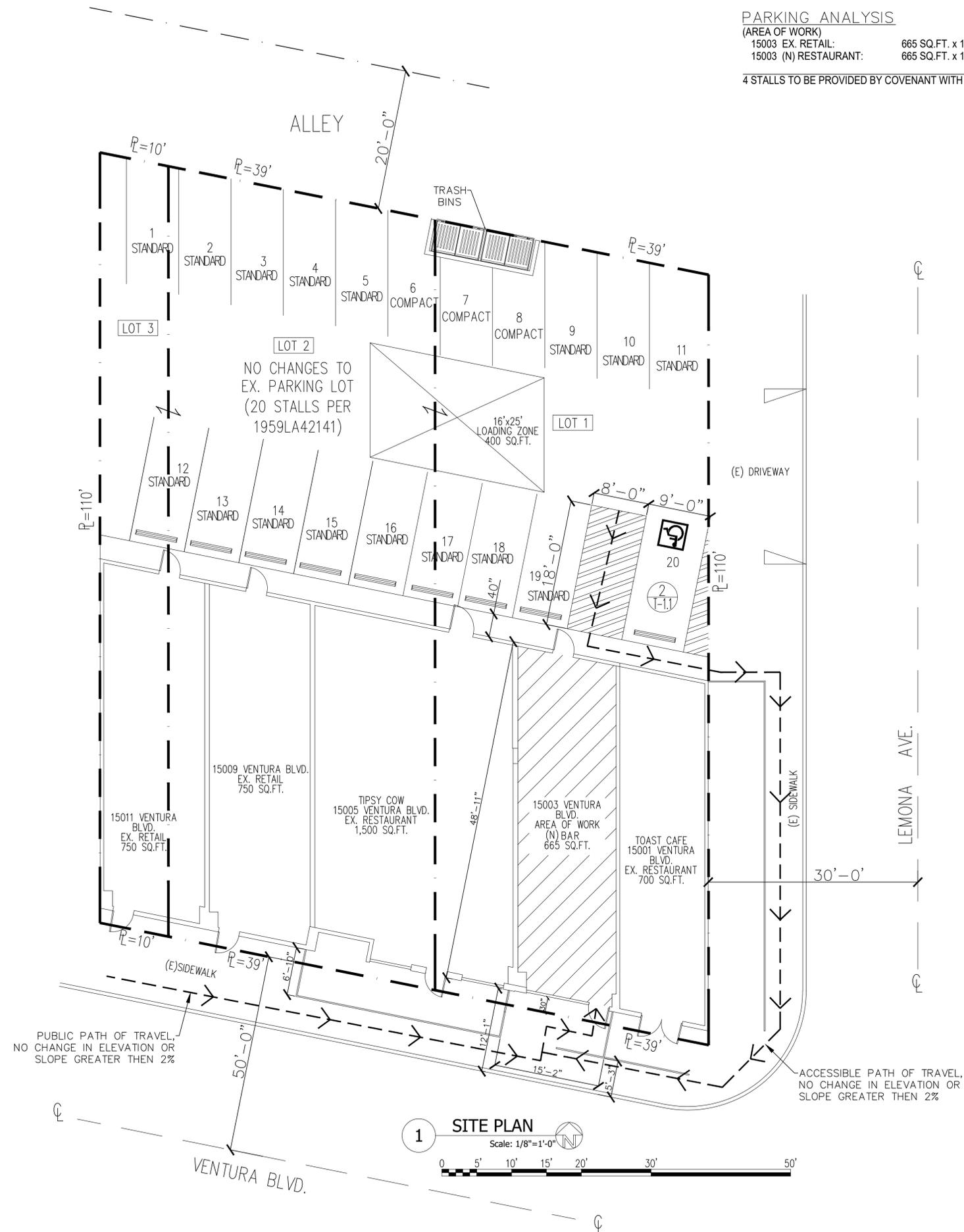
PARKING ANALYSIS

(AREA OF WORK)	665 SQ.FT. x 1 SPACE/ 250 SQ.FT.= 3 CREDIT
15003 EX. RETAIL:	665 SQ.FT. x 1 SPACE/ 100 SQ.FT.= 7-3 (CREDIT)= 4 REQUIRED
15003 (N) RESTAURANT:	
4 STALLS TO BE PROVIDED BY COVENANT WITH D.O.T.	



2 VICINITY MAP
SCALE: NTS

PROJECT SITE:
15003 VENTURA BLVD.
SHERMAN OAKS, CA 91403



1 SITE PLAN
Scale: 1/8"=1'-0"

SCD
SPACE CONCEPTS & DESIGN
14530 HAMLIN ST. #B
VAN NUYS, CA 91411
TEL 213.384.8131
INFO@SCDESIGNLA.COM
WWW.SCDESIGNLA.COM

BUVETTE
15003 VENTURA BLVD.
SHERMAN OAKS, CA 91403

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stamp

no. revision date

Project no. 27
Date: 04.08.20
Designed by: MOURAD KIRAKOSIAN
Drawn by: JR

SITE PLAN

sheet
T-1.1



**SPACE
CONCEPTS &
DESIGN**

14530 HAMLIN ST. #B
VAN NUYS, CA 91411
TEL 213.384.8131
INFO@SCDESIGNLA.COM
WWW.SCDESIGNLA.COM

BUVETTE
15003 VENTURA BLVD.
SHERMAN OAKS, CA 91403

Project name and address

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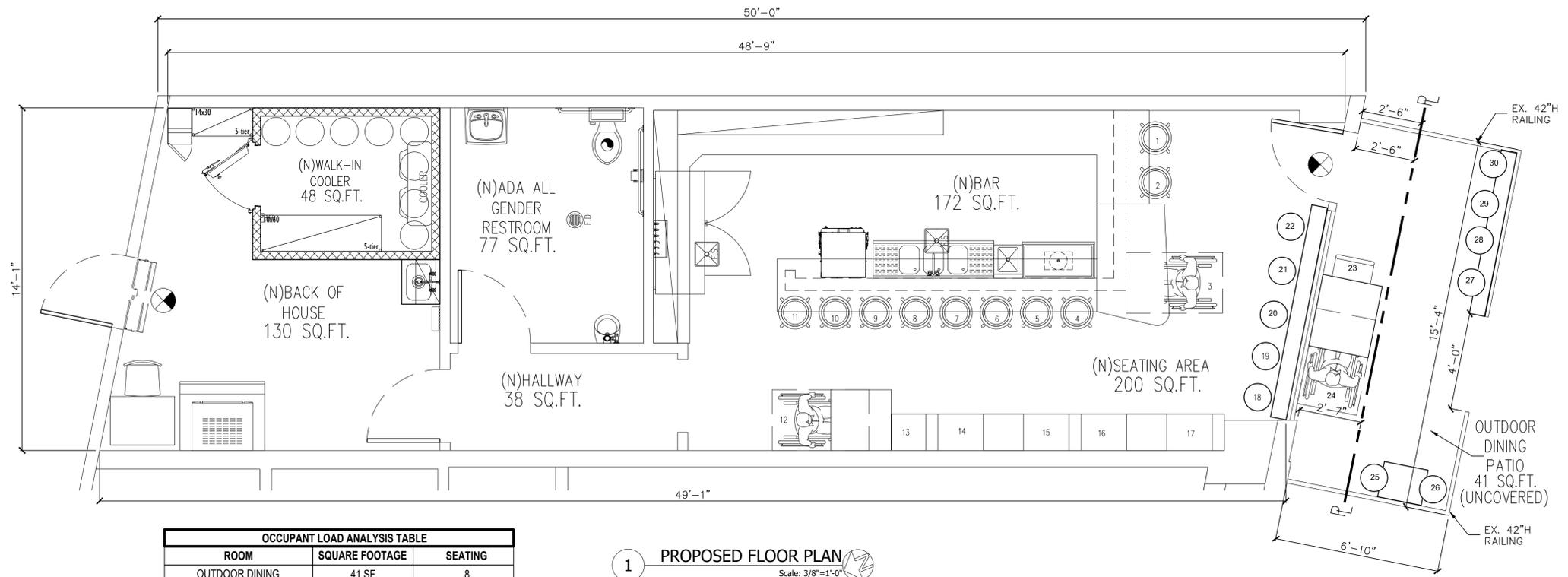
no. revision date

Project no. 27
Date: 04.08.20
Designed by: MOURAD KIRAKOSIAN
Drawn by: JR

OCCUPANT LOAD PLAN

sheet

A-0.1



OCCUPANT LOAD ANALYSIS TABLE		
ROOM	SQUARE FOOTAGE	SEATING
OUTDOOR DINING	41 SF	8
SEATING AREA	200 SF	11
BAR	172 SF	11
OFFICE	130 SF	
WALK IN COOLER	48 SF	
RESTROOMS	77 SF	
HALLWAYS	38 SF	
TOTAL	665 SF	30

ONLY 4 EMPLOYEES WORKING PER SHIFT

1 PROPOSED FLOOR PLAN
Scale: 3/8"=1'-0"





