

# Taisho Japanese Restaurant

14016 W. Ventura Blvd

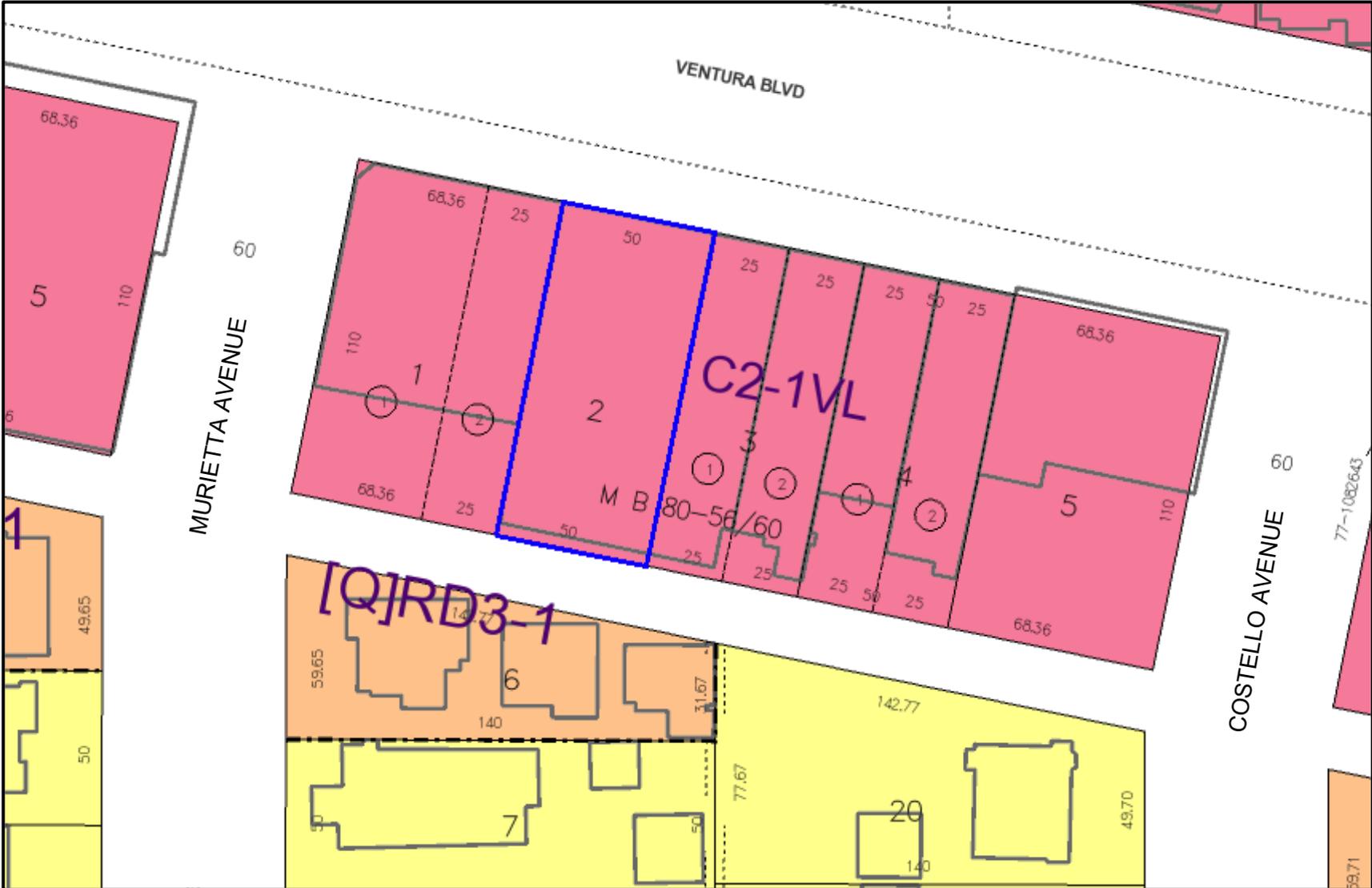
Restaurant Exterior/Interior Renovation



Sherman Oaks Neighborhood Council Planning & Land Use Committee

July 16, 2020

# Location



# Project Summary

Applicant is the operator of a new casual-modern Japanese restaurant that will be the sole tenant of an existing one-story building that has historically been occupied by restaurant uses.

The project includes:

- Renovation of exterior façade
- New conforming signage
- Update to outdoor dining deck
- Substantial remodeling to restaurant interior
- No increase in seating or floor area
- Compliance with all applicable building and zoning standards
- Designed for streetscape appeal with emphasis on the pedestrian experience

# Background

- Existing Use: French/American Restaurant (closed)
- Proposed Use: Casual-Modern Japanese Restaurant
- Parcel size: 5,500 SF
- Zoning: C2-1VL
- Land Use Designation: General Commercial
- Interior size: 3,350 SF
- Seating: 164 total (134 seated inside & 30 seated on outside deck)
- Parking: 2 spaces onsite; supplemented with valet parking services
- V/C Specific Plan: Yes
- V/C Specific Plan Subarea: Pedestrian Development District (no drive-thru or auto-related uses)

Existing



Proposed





# TAISHO RESTAURANT

## VIEW FROM THE STREET

SCHEMATIC INTERIOR DESIGN

10-07-2019

TAISHO RESTAURANT  
14016 VENTURA BLVD.  
LOS ANGELES, CA 91403

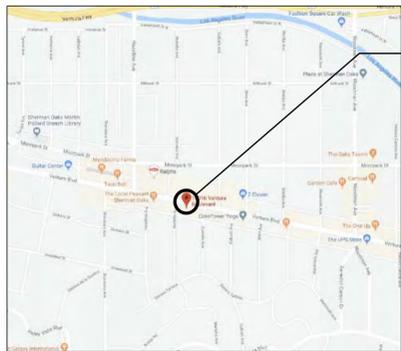
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**CK**  
ARCHITECTURE

Vicinity Map



14016 VENTURA BLVD.  
LOS ANGELES, CA 91403

RESTAURANT PARTIAL TENANT IMPROVEMENT:  
3,350 SF AT :  
14016 VENTURA BLVD., LOS ANGELES, CA 91403.  
NO ADDITIONAL SQUARE FOOTAGE, MINOR  
STRUCTURAL WORK

List of Drawings

| Sheet #                | Sheet Name                                                                                        |
|------------------------|---------------------------------------------------------------------------------------------------|
| <b>Architectural :</b> |                                                                                                   |
| A-0.0                  | Cover Sheet: Vicinity Map, Building Type, Contact Info., Permit History, List of Drawings         |
| A-0.1                  | Abbreviations & General Notes                                                                     |
| A-0.2                  | Site Plan, ZA Conditions                                                                          |
| A-0.3                  | As built, Demo plans                                                                              |
| A-2.0                  | Occupancy Calculation, Occupancy & Exiting Plan, Accessible Path of Travel, Plumbing Calculations |
| A-2.1                  | Floor Plan Proposed, Wall Notes, Keynotes                                                         |
| A-2.2                  | Door and Window Schedules                                                                         |
| A-4.2                  | Roof Plan and Elevations                                                                          |
| A-5.2                  | Ramp Details                                                                                      |
| A-5.3                  | General Details                                                                                   |

**Structural:**  
S- 2.1  
S- 2.2  
ST- 1  
ST- 2

Building Type

Site Address: 14016 W Ventura Blvd.  
Los Angeles, CA 91423

Lot: 2  
Arb: None  
Block: C  
Tract: TR 4954  
APN.: 2266015002  
Zone: C2-1VL  
Construction Type: V-a  
Sprinklered: NO  
Lot Area: 5,501.5 SF  
Interior TI Scope SF: 3,350 SF  
Addition SF: NONE  
Stories: 1 Story  
Occupancy Type: A-2  
Number of Exits Required: 2  
Number of Exits Provided: 2  
Accessible Entrances: 1  
Hours of Operation: 6 a.m. to 2 a.m.  
Number of Employees per shift: 4

Information

**Owners:** Taisho Hospitality LLC  
Christian Corbern  
14016 W. Ventura Blvd.  
Los Angeles, CA 91423  
t: (213) 200-9769

**Architect:** CK Architecture, Inc.  
Christoph Kapeller  
t:(323) 610-4947

**Food Services:** Shambra Restaurant Consulting  
John Shambra  
2352 S. Robertson Boulevard,  
Los Angeles, CA 90034  
(310) 204-1201

**MEP:** AMD Engineering Solutions Inc.  
Art Dilanchian, PE, QCxP  
3800 La Crescenta Ave., Suite 106  
Glendale, CA 91214

**Structure:** Jeff Roberts Engineering  
8325 Foothill Blvd., Suite A  
Sunland, CA 91040

Symbols Legend

- ⊕ CENTER LINE
- ⊕ ELEVATION INDICATOR
- CENTER LINE INDICATOR
- CONTRACT LIMIT LINE
- DEMOLITION LINE
- EXISTING TO REMAIN LINE
- FEATURES ABOVE LINE INDICATOR
- FIRE RESISTIVE RATED LINE, 1 HOUR
- FIRE RESISTIVE RATED LINE, 2 HOUR
- FIRE RESISTIVE RATED LINE, 3 HOUR
- FIRE RESISTIVE RATED LINE, 4 HOUR
- FIRE-RATED, SMOKE BARRIER LINE, 1 HOUR
- FIRE-RATED, SMOKE BARRIER LINE, 2 HOUR
- FIRE-RATED, SMOKE BARRIER LINE, 3 HOUR
- FIRE-RATED, SMOKE BARRIER LINE, 4 HOUR
- HIDDEN FEATURES LINE
- NEW LINE
- PROPERTY LINE
- SMOKE BARRIER LINE
- BREAK, ROUND (USER DEFINES SIZE)
- BREAK, STRAIGHT (SEE SECTION INDICATORS, BUILDING, WITH BREAK STANDARDS)
- DETAIL INDICATOR
- DETAIL INDICATOR
- DETAIL INDICATOR FOR SMALL CONDITIONS
- DIMENSION LINE
- DOOR IDENTIFICATION
- DRAWING BLOCK TITLE, TYPICAL
- ELEVATION INDICATOR, EXTERIOR
- ELEVATION INDICATOR, INTERIOR, MULTIPLE VIEW
- ELEVATION INDICATOR, INTERIOR, SINGLE VIEW
- BUILDING SECTION INDICATOR
- DETAIL INDICATOR
- FURNITURE, FIXTURE, & EQUIPMENT INDICATOR
- GRAPHIC SCALE, 1/8" = 1'-0"
- ROOM NAME AND NUMBER
- COLUMN GRID
- KEYNOTE
- WALL OR PARTITION TYPE
- FIRE EXTINGUISHER CABINET
- CORNER GUARD
- NORTH ARROW

Permit History

| PERMITS    |                                        |                                                                                                                                                                 |
|------------|----------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 12/10/1997 | BP# 97016-20001-12792                  | Add wd. frame lattice cover over (e) outdoor seating area. Erect 1-hour wall at west property line                                                              |
| 09/23/1997 | BP# 97016-20000-12792                  | New outdoor seating area                                                                                                                                        |
| 04/13/1990 | BP# 23100200176                        | New wall sign                                                                                                                                                   |
| 03/11/1980 |                                        | General Repair and Fix-up                                                                                                                                       |
| 04/08/1977 |                                        | Install air-and heating unit                                                                                                                                    |
| 02/17/1977 |                                        | Add dance floor                                                                                                                                                 |
| 04/01/1966 |                                        | Fire damage roof repair                                                                                                                                         |
| 07/15/1969 |                                        | Attach on existing pole                                                                                                                                         |
| 07/20/1942 |                                        | Install awning                                                                                                                                                  |
| 04/10/1939 |                                        | Building permit                                                                                                                                                 |
| 12/19/1939 |                                        | Extend building by 10' and build bar and back bar                                                                                                               |
| C-OF O     |                                        |                                                                                                                                                                 |
| 06/18/1998 | 97016-20001-12792<br>97016-20000-12792 | 20' x 20.5' covered outdoor seating area as an accessory use to existing restaurant.                                                                            |
| 04/06/1977 |                                        | A-3 = 134 occupants, A2.1 = 30 occupants<br>1-story, Type V, 12 x 13' portion of existing 50' x 65' bar and restaurant converted to dance floor. B-2 occupancy. |

Parking

REMODEL: 3,350 SF

TOTAL NO. OF PARKING REQUIRED PER CUP: 2

NO. OF PARKING PROVIDED ON SITE:  
ONE OF WHICH IS VAN ACCESSIBLE 2



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THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY SHALL REMAIN THE PROPERTY OF CK-ARCHITECTURE, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CK-ARCHITECTURE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



PROJECT: 14016 VENTURA BLVD.  
LOS ANGELES, CA 91403  
RESTAURANT REMODEL

ISSUED FOR: 2020-02-20

INFO: DRAWN BY: CK, AS  
SCALE: AS SHOWN  
JOB NO.:

TITLE: COVER SHEET:  
VICINITY MAP,  
BUILDING TYPE,  
CONTACT INFO,  
PERMIT HISTORY, LIST  
OF DRAWINGS

NUMBER: A-0.0

# ABBREVIATIONS:

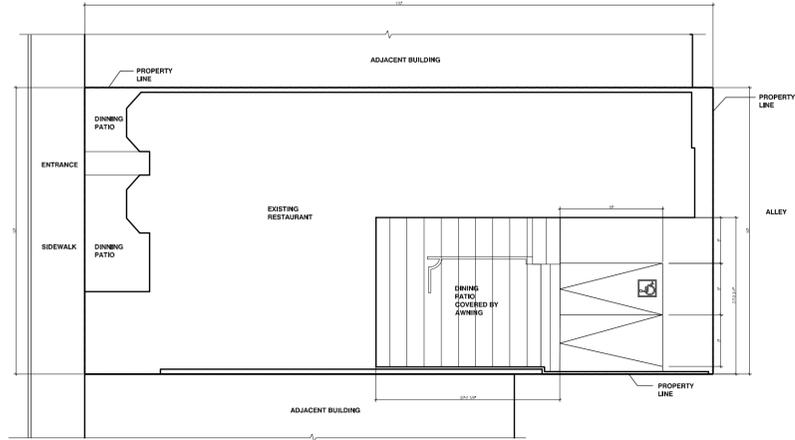
|        |                           |          |                             |
|--------|---------------------------|----------|-----------------------------|
| A/C    | AIR CONDITIONING          | JB       | JUNCTION BOX                |
| AD     | ARCHITECT                 | JT       | JOINT                       |
| AE     | ARCHITECT/ENGINEER        |          |                             |
| AFF    | ABOVE FINISH FLOOR        | KD       | KNOCK DOWN                  |
| AFS    | ABOVE FINISH SURFACE      | KIT      | KITCHEN, KITCHENETTE        |
| ALUM   | ALUMINUM                  | KO(P)    | KNOCK OUT (PANEL)           |
| ALT    | ALTERNATE                 |          |                             |
| AMT    | AMOUNT                    | LAV      | LAVATORY                    |
| "      | ANGLE(S)                  | LB       | LOAD                        |
| ANOD   | ANODIZED                  | LF       | LINEAR FOOT(FEET)           |
| APPROX | APPROXIMATE(LY)           | LVR      | LOUVER                      |
| ARCH   | ARCHITECT(S)              | LT WT    | LIGHTWEIGHT                 |
| ASPH   | ASPHALT                   |          |                             |
|        |                           | MAS      | MASONRY                     |
| BD     | BOARD(S)                  | MATL     | MATERIAL                    |
| BIT    | BITUMINOUS                | MAX      | MAXIMUM                     |
| BLDG   | BUILDING                  | MB       | MACHINE BOLT                |
| BLK(G) | BLOCK(ING)                | MECH     | MECHANIC(AL)                |
| BUR(R) | BUILT-UP (ROOFING)        | MEMBR    | MEMBRANE                    |
|        |                           | MFR      | MANUFACTURER                |
| CB     | CATCH BASIN               | MIN      | MINIMUM                     |
| CJ     | CUBIC FOOT (FEET)         | MISC     | MISCELLANEOUS               |
| CF     | CONTROL JOINT             | MT(D)(G) | MOUNT(ED)(ING)              |
| CL     | CENTRALINE                | MTL      | METAL                       |
| CLG    | CEILING                   |          |                             |
| CLL    | CONTRACT LIMIT LINE       | N/A      | NOT APPLICABLE              |
| CLR    | CLEARANCE                 | NO       | NOT-IN-CONTRACT             |
| CMU    | CONCRETE MASONRY UNIT(S)  | NC       | NUMBER                      |
| CO     | CLEAN OUT                 | NRC      | NOISE REDUCTION COEFFICIENT |
| COL    | COLUMN                    | NTS      | NOT-TO-SCALE                |
| CONC   | CONCRETE                  |          |                             |
| CON    | CONSTRUCTION              | OC       | ON-CENTER                   |
| CONT   | CONTINUOUS                | OD       | OUTSIDE DIAMETER            |
| CONTR  | CONTRACTOR                | OPNG     | OPENING                     |
| CORR   | CORRIDOR CORRUGATED       | OPP      | OPPOSITE                    |
| CT     | CERAMIC TILE              |          |                             |
| CTR    | COUNTER                   | PAV (MT) | PAVING, PAVEMENT            |
|        |                           | PL       | PLATE                       |
| D      | DRAIN                     | P LAM    | PLASTIC LAMINATE            |
| DEMO   | DEMOLISH                  | PLAS     | PLASTER, PLASTIC            |
| DF     | DRINKING FOUNTAIN         | PLBG     | PLUMBING                    |
| DIA    | DIAMETER                  | PLYWD    | PLYWOOD                     |
| DIM    | DIMENSION                 | PNT      | PAINT                       |
| DISP   | DISPENSER, DISPOSAL       | PVMT     | PAVEMENT                    |
| DN     | DOWN                      | QUAL     | QUALITY                     |
| DR     | DOWNSPOUT                 | QUAN     | QUANTITY                    |
| DS     | DRAIN TILE                |          |                             |
| DT     | DETAIL                    | RB       | RUBBER BASE                 |
| DTL    | DRAWING                   | RCP      | REINFORCED CONCRETE PIPE    |
| DWG    |                           | RD       | ROOF DRAIN                  |
|        |                           | REF      | REFERENCE                   |
| EJ     | EACH                      | REFRIG   | REFRIGERATOR                |
| EA     | EXPANSION JOINT           | REG      | REGISTER                    |
| EL     | ELEVATION (GRADE)         | REQD     | REQUIRED                    |
| ELEC   | ELECTRIC(AL)              | RET      | RETAINING                   |
| ELEV   | ELEVATION, ELEVATOR       | R.L.     | ROOF LEADER, RAIN LEADER    |
| EMER   | EMERGENCY                 | RM       | ROOM                        |
| EQUIP  | EQUIPMENT                 | RT       | RIGHT                       |
| EWC    | ELECTRIC WATER COOLER     |          |                             |
| EXH    | EXHAUST                   | SC       | SOLID CORE                  |
| EXTG   | EXTINGUISHER              | SCHED    | SCHEDULE                    |
| EXP    | EXPAND, EXPOSED           | SD       | SOAP DISPENSER, STORM DRAIN |
|        |                           | SF       | SQUARE FOOT (FEET)          |
| FA     | FIRE ALARM                | SHT      | SHEET                       |
| FD     | FIRE DAMPER, FLOOR DRAIN  | SHTG     | SHEETING                    |
| FE     | FIRE EXTINGUISHER         | STC      | SOUND TRANSMISSION CLASS    |
| FE     | FIRE EXTINGUISHER CABINET | STD      | STANDARD                    |
| FF     | FIRE FLOOR                | STOR     | STORAGE                     |
| FH     | FIRE HOSE                 | STRUCT   | STRUCTURAL                  |
| FHC    | FIRE HOSE CABINET         | SUSP     | SUSPENDED                   |
| FHR    | FIRE HOSE RACK            |          |                             |
| FHYD   | FIRE HYDRANT              | T        | TREAD, TILE, TOILET         |
| FSP    | FIRE STANDPIPE            | TBD      | TO BE DETERMINED            |
| FIN    | FINISH(ED)                | TEL      | TELEPHONE                   |
| FLASH  | FLASHING                  | TEMP     | TEMPORARY                   |
| FL     | FLOOR                     | TOC      | TOP-OF-CURB                 |
| FND    | FOUNDATION                | TOCONC   | TOP OF CONCRETE             |
| FOC    | FACE OF CONCRETE          | TOM      | TOP OF MASONRY              |
| FOF    | FACE OF FINISH            | TOS      | TOP OF SLAB                 |
| FOM    | FACE OF MASONRY           | TOST     | TOP OF STEEL                |
| FOS    | FACE OF STUDS             | TOW      | TOP OF WALL                 |
| FT     | FOOT(FEET)                | TR       | TRENCH                      |
| FTG    | FOOTING                   | TYP      | TYPICAL                     |
|        |                           | UNO      | UNLESS NOTED OTHERWISE      |
| GA     | GALVE                     | VB       | VAPOR BARRIER, VINYL BASE   |
| GALV   | GALVANIZED                | VCT      | VINYL COMPOSITE TYPE        |
| GC     | GENERAL CONTRACTOR        | VERT     | VERTICAL                    |
| GL     | GLASS, GLAZING            | VEST     | VESTIBULE                   |
| GR     | GRADE                     | VT       | VINYL TILE                  |
| GRD    | GUARD                     |          |                             |
| GWB    | GYPSUM WALL BOARD         | W/WO     | WITH, WITHOUT               |
| GYP    | GYPSUM                    | WC       | WATER CLOSET                |
|        |                           | WD       | WOOD                        |
| H.B.   | HOSE BIBB                 | W/W      | WELDED WIRE FABRIC          |
| HC     | HOLLOW CORE               | W/M      | WELDED WIRE MESH            |
| HD     | HEAD                      |          |                             |
| HDWD   | HARDWOOD                  |          |                             |
| HDWR   | HARDWARE                  |          |                             |
| H.M.   | HOLLOW METAL              |          |                             |
| HORIZ  | HORIZONTAL                |          |                             |
| HT     | HEIGHT                    |          |                             |
| HVAC   | HTG., VENTILATION & AC    |          |                             |
| HYD    | HYDRANT                   |          |                             |
|        |                           | ID       | INSIDE DIAMETER             |
| INSUL  | INSULATION                | INT      | INTERIOR                    |
| INT    | INTERIOR                  | INV      | INVERT                      |
| INV    | INVERT                    |          |                             |

# GENERAL NOTES:

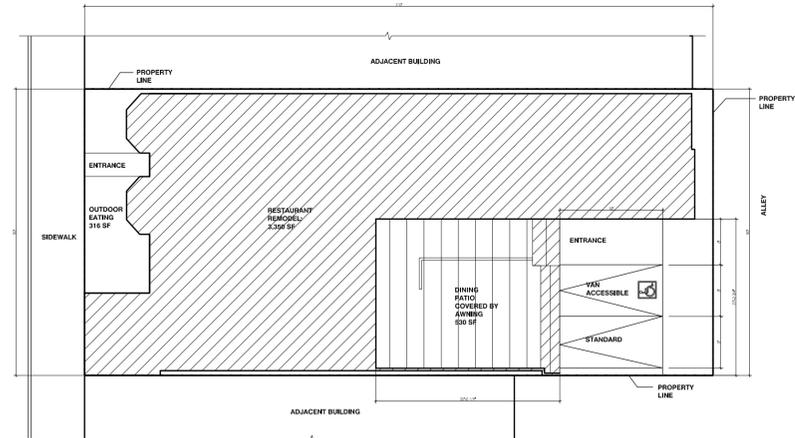
- ALL WORK SHALL COMPLY WITH THE REGULATIONS OF THE GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. THE SPECIFICATIONS SHALL BE SUPPLEMENTAL TO ALL LAWS AND CODES OF GOVERNMENTAL REGULATING BODIES RELATING TO BUILDINGS, AND ALL APPLICABLE REQUIREMENTS SPECIFIED IN THESE REGULATIONS SHALL BE FOLLOWED AS THOUGH SPECIFICALLY NOTED IN THE SPECIFICATIONS OR DRAWINGS. THIS SHALL NOT HOWEVER BE CONSTRUED TO MEAN THAT ANY N REQUIREMENTS SET FORTH IN THE SPECIFICATIONS CAN BE MODIFIED BECAUSE THEY ARE NOT SPECIFICALLY NOTED BY SUCH CODES OR LAWS. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO NOTIFY CK-ARCHITECTURE OF ANY CONFLICTS BETWEEN THESE DRAWINGS AND ANY BUILDING CODES.
- PREVAILING CODES INCLUDE, BUT ARE NOT LIMITED TO PREVAILING IBC, PREVAILING IMC, PREVAILING NEC.
- DURING THE BIDDING & NEGOTIATION PERIOD, THE GENERAL CONTRACTOR & SUBCONTRACTOR (S) SHALL ADVISE CK-ARCHITECTURE IN WRITING OF ANY SPECIFIED MATERIAL OR EQUIPMENT THAT IS EITHER UNAVAILABLE OR WILL CAUSE A DELAY IN CONSTRUCTION COMPLETION SCHEDULE DUE TO AVAILABILITY.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO SUBMITTAL OF FINAL BID AND SHALL VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO COMMENCEMENT OF THE WORK. SHOULD ANY DIMENSIONS & CONDITIONS ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT, OR WHERE THERE IS A DISCREPANCY, CK-ARCHITECTURE SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION. DO NOT PROCEED WITH THE PORTION OF THE WORK IN QUESTION UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
- PRIOR TO BEGINNING WORK, THE GENERAL CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE SHOWING CHRONOLOGICAL PHASING OF HIS AND HIS SUBCONTRACTORS' WORK, SHOWING START AND COMPLETION DATES FOR EACH.
- DO NOT SCALE DRAWINGS, DIMENSIONS SHALL PREVAIL. LARGE SCALE DETAILS SHALL PREVAIL OVER SMALL SCALE DETAILS. STRUCTURAL DIMENSIONS AS SHOWN ON FLOOR PLANS SHALL BE TO FACE OR FINISH, UNLESS OTHERWISE NOTED OTHERWISE.
- THE CONTRACTOR/SUBCONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION OF THE WORK. THE CONTRACTOR SHALL FURNISH COPIES OF THE RECEIPTS TO CK-ARCHITECTURE.
- THE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY OF ALL PARTIES PRESENT AT THE JOB SITE IS THE CONTRACTOR'S RESPONSIBILITY.
- ONLY DRAWINGS, SPECIFICATIONS, ADDENDA AND CHANGE ORDERS BEARING THE APPROVAL OF CK-ARCHITECTURE AND THE OWNER SHALL BE USED FOR THE EXECUTION OF THE WORK OR PERMITTED AT THE JOB SITE. ADDENDA AND BULLETINS ISSUED TO CORRECT OR CLARIFY DRAWINGS & SPECIFICATIONS BECOME PART OF THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY CK-ARCHITECTURE OF ANY CONSULTANT WORK THAT IS NOT PART OF THESE CONTRACT DOCUMENTS AND HAS NOT BEEN COORDINATED BY CK-ARCHITECTURE. THE CONTRACTOR SHALL NOTIFY CK-ARCHITECTURE OF ANY DISCREPANCIES THAT MIGHT PREVENT EXECUTION OF WORK COVERED BY THESE DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL PROVIDE SUBMITTALS IN TRIPPLICATE FOR: FINISHES & FINISH MATERIAL, MILLWORK, LIGHTING, DOOR AND HARDWARE, MILLWORK FINISHES & HARDWARE, FIXTURE CUTS, AND FABRICATION SHOP DRAWINGS. THE GENERAL CONTRACTOR SHALL SUBMIT THE SAME TO CK-ARCHITECTURE FOR REVIEW AND APPROVAL IN A TIMELY MANNER PRIOR TO ORDER OR FABRICATION.
- SUBSTITUTIONS, REVISIONS OR CHANGES MUST HAVE PRIOR APPROVAL BY CK-ARCHITECTURE. THE GENERAL CONTRACTOR SHALL SUBMIT SUBSTITUTION MATERIAL SPECIFICATIONS AND SAMPLES FOR APPROVAL IN WRITING, PRIOR TO COMMENCEMENT OF THE WORK.
- THE GENERAL CONTRACTOR SHALL PROVIDE & INSTALL ALL MATERIALS AND EQUIPMENT REQUIRED TO COMPLETE THE CONSTRUCTION OF THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, THE TERMS AND CONDITIONS OF THE OWNER/CONTRACTOR AGREEMENT AND IN CONFORMANCE WITH THE GOVERNING CODES & ORDINANCES HAVING JURISDICTION OVER THE PROJECT.
- THE GENERAL CONTRACTOR & SUBCONTRACTOR (S) SHALL PURCHASE & MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKMANS COMPENSATION, PUBLIC LIABILITY & PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY THE LAW. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK. BONDING FOR THE PROJECT SHALL BE AS DIRECTED BY AND TO THE SATISFACTION OF THE OWNER.
- THE GENERAL CONTRACTOR SHALL USE THESE DRAWINGS IN CONNECTIONS WITH THE SPECIFICATIONS FOR THIS PROJECT AND CONFORM TO THEM FOR ALL ITEMS CALLED FOR IN THE DRAWINGS. CHANGES WITHOUT CK-ARCHITECTURE'S WRITTEN APPROVAL WILL BE AT THE GENERAL CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE AND QUALITY INSPECTION OF ALL MATERIALS UPON DELIVERY TO THE JOB SITE & PRIOR TO INSTALLATION. DAMAGED OR SUB-STANDARD GOODS WILL NOT BE ACCEPTED.
- DURING THE ENTIRE PERIOD OF DEMOLITION AND CONSTRUCTION, ALL EXISTING EXITS, EXIT LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONSPICUOUSLY POSTED.
- BUILDING REQUIREMENTS FOR ALL ALTERATIONS SHALL APPLY TO ALL WORK AS REQUIRED. THE GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH ALL REQUIREMENTS PRIOR TO COMMENCEMENT OF THE WORK.
- ALL FINISH MATERIALS SHALL MEET THE LOCAL FIRE RATING REQUIREMENTS
- ALL FINISHES SHALL BE APPLIED TO ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKBOARDS, ELECTRICAL OUTLETS, CONDUT, AND ETC., AS REQUIRED BY THE OWNER'S TELEPHONE COMPANY TO ACCOMMODATE THEIR INSTALLATION.
- TELEPHONE AND ELECTRICAL OUTLETS ON THE OPPOSITE SIDES OF COMMON WALLS SHALL BE LOCATED IN SEPARATE STUD CAVITIES. NO BACK-TO-BACK OUTLETS. WHERE SPECIFIC DIMENSIONS CONTRADICT THIS NOTE, THE GENERAL CONTRACTOR SHALL RELOCATE THE OUTLET TO THE OPPOSITE SIDE OF THE STUD NEAREST THAT DIMENSION.
- TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND ARE UNDER SEPARATE PERMIT TO BE OBTAINED BY THE CONTRACTOR.
- ALL TOILET ROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN WITH A 5-MINUTE AIR CHANGE CAPACITY AND VENTED TO THE OUTSIDE.
- ALL CORRIDOR WALLS SHALL BE OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION WHEN DESIGNATED AS ONE- OR TWO HOUR CORRIDORS.
- DOORS OPENING IN A ONE-HOUR CORRIDOR SHALL BE 20-MINUTE FIRE RATED AND EQUIPPED WITH AUTOMATIC CLOSERS.
- ALL OCCUPANCY SEPARATIONS SHALL BE OF THE FIRE RESISTIVE CONSTRUCTION SPECIFIED IN THE APPLICABLE BUILDING CODE AND OPENINGS IN THESE SEPARATIONS AS SPECIFIED IN THE SAME. EXCEPTIONS SHALL HAVE RECORDED APPROVALS OF THE APPROPRIATE REVIEWING AGENCY.
- APPROVED FIRE RATED DAMPERS SHALL BE INSTALLED ON DUCTS PASSING THROUGH FIRE RATED PARTITIONS AND FLOORS.
- DIFFUSERS AT ONE-HOUR CORRIDOR WALLS SHALL NOT BE RATED LESS THAN ONE-HOUR. DAMPERS SHALL BE PROVIDED WHERE DUCTS PENETRATE RATED WALLS OR CEILINGS.
- MINIMUM HEADROOM CLEARANCE AT THE STAIRS SHALL BE 6'-8".
- ALL ELECTRICAL, PHONE, SPRINKLER, PLUMBING LINES TO BE CONCEALED UNLESS OTHERWISE NOTED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE OFTEN NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- ALL ROOF PENETRATIONS SHALL EXTEND 7" MINIMUM ABOVE THE ROOF.
- NO MOTOR VEHICLES ARE TO BE STORED IN THE BUILDING DURING CONSTRUCTION.
- THERE SHALL NOT BE ANY TRESPASSING ON THE ADJOINING PROPERTY. NO MATERIALS SHALL BE STORED ON THE ADJOINING PROPERTY BEFORE THE JOB STARTS. REPRESENTATIVES OF THE OWNER AND THE CONTRACTOR ARE TO INSPECT ALL SIDEWALKS INCLUDING ADJOINING PROPERTY. ANY DAMAGE TO THESE SIDEWALKS OR ADJOINING PROPERTY DURING THE CONSTRUCTION SHALL BE REPAIRED PRIOR TO COMPLETION.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT THE REVIEW OF THE ARCHITECT. ALL HEIGHTS ARE DIMENSIONED FROM TOP OF SLAB UNLESS OTHERWISE NOTED.
- DIMENSIONS ON DRAWINGS ARE SHOWN TO THE CENTERLINE OF COLUMNS AND TO THE FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
- WORK NOT SPECIFICALLY DETAILED OR SPECIFIED SHALL BE PROVIDED IN ACCORDANCE WITH DETAILS OR SIZES COVERING SIMILAR WORK.
- TYPICAL MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE ELEVATION OR DETAIL NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN.
- GENERAL CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE FRAMING WALLS, FLOORS ETC.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECT ALL REQUIRED ACCESS PANELS FOR MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK. COORDINATE LOCATION WITH ARCHITECT.
- STAIRS EXITS AND OCCUPANT LOADS
- ALL AISLES SHALL BE 44 INCH MIN. CLEAR WIDTH TO A PUBLIC WAY.
- EVERY EXIT DOOR SHALL BE OPENIBLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
- EXIT DOORWAYS SHALL BE NO LESS THAN 36 INCHES IN WIDTH AND NO LESS THAN 6'-8" IN HEIGHT. PROJECTING INCLUDING PANIC HARDWARE SHALL NOT REDUCE THE OPENING TO LESS THAN 32 INCHES CLEAR WIDTH.
- EXIT DOORS MUST OPEN OVER A LANDING NO MORE THAN 1/2 BELOW THE THRESHOLD.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING MORE THAN 50 OCCUPANTS.
- A MINIMUM OF 2 EXITS ARE REQUIRED FOR ALL ROOMS WHERE THE OCCUPANCY EXCEEDS 50.
- PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS SERVING ROOMS, CORRIDORS OR STAIRWAYS HANDLING AN OCCUPANT LOAD OF 50 OR MORE PERSONS FROM ASSEMBLY AREAS. PANIC HARDWARE SHALL BE APPROVED AND LISTED BY THE STATE FIRE MARSHALL.
- SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
- EXIT STAIRS SHALL BE OF 2-HOUR FIRE RESISTIVE CONSTRUCTION WITH 1 1/2 HOUR LABELED OPENINGS.
- FLOOR IDENTIFICATION SIGNS SHALL BE POSTED AT EACH FLOOR LANDING AT EVERY ENCLOSED EXIT STAIRWAY.
- EACH FLIGHT OF EVERY STAIR SHALL BE MARKED TO ALERT THE VISUALLY IMPAIRED.
- ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE CONSTRUCTED WITH NO LESS THAN ONE-HOUR FIRE RESISTIVE CONSTRUCTION.
- UNENCLOSED SPACE UNDER STAIRWAYS SHALL NOT BE USED FOR ANY PURPOSE.
- ALL EXITS SHALL HAVE EXIT SIGNS AND ALL BLIND CORRIDOR TURNS SHALL HAVE DIRECTIONAL EXIT SIGNS.
- EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.
- THE CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITION REQUIRING MODIFICATION OR CHANGE BEFORE PROCEEDING WITH THE WORK.
- ANY WORK OR MATERIAL NOT DIRECTLY NOTED IN THE CONTRACT DOCUMENTS, BUT NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE INTENT THEREOF, ARE IMPLIED AND ARE TO BE PROVIDED FOR AS IF SPECIFICALLY DESCRIBED.
- ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY AND WHAT IS SPECIFIED BY ONE SHALL BE BINDING AS SPECIFIED BY ALL. ANY WORK SHOWN REFERRED TO ON A CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH IN ALL RELATED DOCUMENTS.
- ANY CONTRACTOR BIDDING FOR THIS JOB SHALL NOT ELIMINATE ANY ITEM INCLUDED IN THESE CONSTRUCTION DOCUMENT UNLESS HIS BID SPECIFICALLY SPELLS OUT SUCH EXCLUSION. ANY ITEM NOT SPECIFICALLY EXCLUDED FROM A BID SHALL BE DEEMED AS WORK TO BE PERFORMED BY THE CONTRACTOR AS PART OF THE FINAL AGREED BID PRICE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND WASTE OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS AND SHALL TURN THE SITE INCLUDING THE BATHROOMS VACUUMED CLEAN UPON COMPLETION OVER TO THE TENANT.
- NO THERMOSTATS SHALL BE LOCATED AT THE CENTER OF WALLS OR IN ANY OTHER CONSPICUOUS LOCATION, WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
- ALL WOODWORK, BLOCKING, GROUNDS, ROUGH BUCKS, AND MISCELLANEOUS BLOCKING SHALL BE FIRE RETARDANT IN ACCORDANCE WITH THE LOCAL MUNICIPAL CODES.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY BLOCKING, BRACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURE, EQUIPMENT, CABINETRY, FURNISHINGS, AND ALL OTHER ITEMS REQUIRING THE SAME.
- GENERAL CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR THE SETTING OF ALL NECESSARY WOOD BLOCKING AS RELATED TO THIS INSTALLATION.
- SHOP DRAWINGS SHALL BE SUBMITTED BY THE CONTRACTOR FOR THE REVIEW BY THE ARCHITECT. CORRECTED DRAWINGS SHALL BE REFILED. REVIEW OF SUCH SHOP DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF ERRORS AND OMISSIONS OF ANY SORT.
- ALL FINISH MATERIAL SHALL MEET THE LOCAL FIRE RATING REQUIREMENTS
- ALL FINISHES SHALL BE APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. ALL WALL AND FLOOR FINISHES SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL TOILET ROOMS SHALL BE PROVIDED WITH AN EXHAUST FAN WITH A 5-MINUTE AIR CHANGE CAPACITY AND VENTED TO THE OUTSIDE.
- ALL CORRIDOR WALLS SHALL BE OF ONE-HOUR FIRE RESISTIVE CONSTRUCTION WHEN DESIGNATED AS ONE-HOUR CORRIDORS.
- DOOR OPENINGS IN A ONE HOUR CORRIDOR SHALL BE 20-MINUTE FIRE RATED AND EQUIPPED WITH AUTOMATIC CLOSERS.
- ALL OCCUPANCY SEPARATIONS SHALL BE OF FIRE RESISTIVE CONSTRUCTION SPECIFIED IN THE APPLICABLE BUILDING CODE AND OPENINGS IN THESE SEPARATIONS AS SPECIFIED IN THE SAME. EXCEPTIONS SHALL HAVE RECORDED APPROVALS IN THE APPROPRIATE REVIEWING AUTHORITY.
- APPROVED FIRE-RATED DAMPERS SHALL BE INSTALLED ON DUCTS PASSING THROUGH FIRE-RATED PARTITIONS AND FLOORS.
- DIFFUSERS AT ONE-HOUR RATED CORRIDOR WALLS SHALL NOT BE RATED LESS THAN ONE HOUR. DAMPERS SHALL BE PROVIDED WHERE DUCTS PENETRATE RATED WALLS OR CEILINGS.
- MINIMUM HEADROOM CLEARANCE AT ALL STAIRS SHALL BE 6'-6".
- ALL ELECTRICAL, TELEPHONE, DATA, SPRINKLER, PLUMBING LINES TO BE CONCEALED UNLESS OTHERWISE NOTED.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN VERIFIED BY THE OWNER AND OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING THE WORKS. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- DIMENSIONS OF THE EXISTING BUILDING CONDITIONS ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS OF ALL EXISTING CONDITIONS AT THE SITE, AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING, IF ANY DISCREPANCIES OR CONFLICTS APPEAR BETWEEN SITE CONDITIONS, DRAWINGS AND SPECIFICATIONS. UPON RECEIPT OF SUCH NOTICE, THE ARCHITECT WILL ISSUE A CLARIFICATION.
- ALL ROOF PENETRATIONS SHALL EXTEND 7" MINIMUM ABOVE THE ROOF.
- THE CONTRACTOR SHALL OBTAIN THE PERMIT FOR FOR THE PEDESTRIAN PROTECTION AND THE STREET IMPROVEMENT FROM THE APPLICABLE JURISDICTIONAL AGENCY.
- THE FRAMING CONTRACTOR SHALL VERIFY THE LOCATIONS OF RECESSED LIGHT FIXTURES AND MAKE ALLOWANCE FOR THE REQUIRED CLEARANCES.
- ALL ELECTRICAL, PHONE, PLUMBING, AND SPRINKLER LINES ARE TO RUN BETWEEN THE JOISTS AND TO BE FREE AND CLEAR OF THE TOP OF THE CEILING JOISTS.
- INTERIOR GYPSUM BOARD SHALL BE 5/8" "TYPE X" IN ALL AREAS, TAPED AND FINISHED SMOOTH FOR WALL PAINT. ALL GYPSUM SHALL BE INSTALLED USING RATCHETED DRYWALL SCREW HEADS ONLY. COUNTERSINK ALL SCREW HEADS.

|                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                              |       |                           |                                                          |                                           |                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|-------|---------------------------|----------------------------------------------------------|-------------------------------------------|------------------|
| christoph kappeler, aia<br>639 s spring st, suite 4a<br>los angeles, ca 90014<br>t (213) 488-3380<br>f (213) 488-4988<br>c (323) 610-4947<br>ck@ck-architecture.com | THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY SHALL REMAIN THE PROPERTY OF CK-ARCHITECTURE, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CK-ARCHITECTURE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. | PROJECT<br>14016 VENTURA BLVD<br>LOS ANGELES, CA 91403<br>RESTAURANT REMODEL | DATE: | ISSUED FOR:<br>2020-02-20 | INFO:<br>DRAWN BY: ck, as<br>SCALE: AS SHOWN<br>JOB NO.: | TITLE:<br>GENERAL NOTES AND ABBREVIATIONS | NUMBER:<br>A-0.1 |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|-------|---------------------------|----------------------------------------------------------|-------------------------------------------|------------------|





04 SITE PLAN: EXISTING  
SCALE: 1/16" = 1'-0"



03 SITE PLAN: PROPOSED  
SCALE: 1/16" = 1'-0"

**CITY OF LOS ANGELES**  
DEPARTMENT OF CITY PLANNING  
OFFICE OF ZONING ADMINISTRATION

Case No. ZA 97-0147(PAB)(ZAI)  
DETERMINATION OF CONDITIONAL USE STATUS  
Sherman Oaks-Studio City Planning Area  
14016 Ventura Boulevard  
Zone : C2-1  
D. M. : 160B153  
C. D. : 5  
CEQA : Exempt  
Fish and Game: Exempt  
Legal Description : Lot 2, Block C, Tract No. 4954

February 28, 1997

Don Shan (O)  
Shan's Restaurant  
Design and Consulting Service  
14622 Ventura Boulevard  
Sherman Oaks, CA 91403

Cafe Bizou (A)  
14016 Ventura Boulevard  
Sherman Oaks, CA 91403

James Heimler, Architect, Inc. (R)  
19510 Ventura Boulevard  
Tarzana, CA 91556

Department of Building and Safety

The Bizou Restaurant at 14016 Ventura Boulevard has deemed approved conditional use status for the on-site sale of alcoholic beverages with a floor area of 3400 ± square feet and seating for 134 patrons with two on-site parking spaces.

Section 12.21-A.2 of the Los Angeles Municipal Code provides in pertinent part as follows:

"2. Other uses Determined by Administrator - The Administrator shall have authority to determine other uses, in addition to those specifically listed in this Article, which may be permitted in each of the various zones, when in the judgment, such other uses are similar to and no more objectionable to the public welfare than those listed."

This provision has also been interpreted to permit resolution of conflicts between disparate sections of the Code and to provide clarity where ambiguity exists.

**Background**  
Recently, an issue has arisen with respect to the zoning status of the above site as it relates to the authorized size, occupancy and provision of parking. The issue arose in the

02 ZA 97-0147(PAB)(ZAI)  
SCALE: N/A

**CITY OF LOS ANGELES**  
DEPARTMENT OF CITY PLANNING  
OFFICE OF ZONING ADMINISTRATION

Case No. ZA 97-0147(PAB)(ZAI)  
CONDITIONAL USE STATUS AND ZONING ADMINISTRATOR'S DETERMINATION  
14016 Ventura Boulevard  
Sherman Oaks-Studio City Planning Area  
Zone : C2-1  
D. M. : 160B153  
C. D. : 5  
CEQA : CE  
Fish and Game: Exempt  
Legal Description : Lot 2, Block C, Tract 4954

August 8, 1997

Cafe Bizou (A)  
14016 Ventura Boulevard  
Sherman Oaks, CA 91403

Don Shan (O)  
Shan's Restaurant Design and Consulting Service  
14622 Ventura Boulevard, #716  
Sherman Oaks, CA 91403

James Heimler (R)  
Architect, Inc., #210  
19510 Ventura Boulevard  
Tarzana, CA 91556

Department of Building and Safety

Pursuant to Los Angeles Municipal Code Sections 12.24-F and G, I hereby **APPROVE** a determination of conditional use status and approval of plans to permit the utilization of an outdoor patio with screen walls as additional dining area for a restaurant.

upon the following additional terms and conditions:

- All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the development and use of the property, except as such regulations are herein specifically varied or required.
- The use and development of the property shall be in substantial conformance with the plan submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
- The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning

01 ZA 97-0147(PAB)(ZAI)  
SCALE: N/A

CASE NO. ZA 97-0147(PAB)(ZAI) PAGE 2

content of a citation by the Fire Department questioning the authorized occupancy of the business. In an effort to formally resolve the issue, the applicant has filed an application with supporting documents which clearly demonstrate the historic presence of a restaurant on the site substantially similar in size and configuration to that now existing.

These supporting documents include letters from neighboring property owners attesting to the historic presence of a restaurant on the site. Additionally submitted is a two-page summary chart delineating the historic permit evolution of the site commencing in 1939 with issuance of a building permit and ending with the most recent issuance of an ABC license in May of 1995. What this demonstrates is a succession of permits, licenses, Assessor's notations and other objective documentation of the historic presence of a restaurant on the site occupying the current area now existing and preceding the City's adoption of both the Ventura Boulevard Specific Plan as well as the on-site sale of alcoholic beverages.

In effect there has been a demonstration that approximately 3200 ± square feet of the currently existing 3400 square feet of improvements on the site with seating for 134 patrons have been permitted by various governmental agencies. Further, it is demonstrated that the site has nonconforming parking rights to have two spaces (although certain permits indicate 0 spaces are required).

As noted, upon the course of years, Section 12.21-A.2 of the zoning regulations has been drawn upon to provide some rational result from application of various sections of the Code to an individual set of circumstances. This Section has also been interpreted to include authority to resolve conflicts between disparate narrative passages, to transcend unnecessary bureaucratic hurdles, and to provide logical results from sometimes arcane, esoteric, nuances obscured within the City's zoning regulations.

Consequently the property noted has deemed approved conditional use status for a restaurant of approximately 3400 square feet with two parking spaces, and no further zoning entitlements are necessary.

ROBERT JANOVICI  
Chief Zoning Administrator

RJ:mw  
cc: Councilmember Michael Feuer  
Fifth District

CASE NO. ZA 97-0147(PAB)(ZAI) PAGE 2

Administrator to impose additional corrective conditions, if, in the Administrator's opinion, such conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.

- All graffiti on the site shall be removed or painted over in the same color as the wall surface to which it is applied within 24 hours of its occurrence.
- The additional outdoor dining area may be up to 530 square feet with the occupancy of the outdoor dining area to not exceed 30 persons.
- The hours of utilization of the outdoor dining area are to be 10 a.m. to 10 p.m., seven days per week.

**OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES - TIME EXTENSION**  
All terms and conditions of the approval shall be fulfilled so long as the use may be established. The instant authorization is further conditional upon the privileges being utilized within two years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void. A Zoning Administrator may extend the termination date for one additional period not to exceed one year, if a written request on appropriate forms, accompanied by the applicable fee is filed therefore with a public Office of the Department of City Planning setting forth the reasons for said request and a Zoning Administrator determines that good and reasonable cause exists therefore.

**TRANSFERABILITY**  
This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant.

**VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**  
Section 12.24-J.3 of the Los Angeles Municipal Code provides:  
"It shall be unlawful to violate or fail to comply with any requirement or condition imposed by final action of the Zoning Administrator, Board or Council pursuant to this subsection. Such violation or failure to comply shall constitute a violation of this Chapter and shall be subject to the same penalties as any other violation of this Chapter."  
Every violation of this determination is punishable as a misdemeanor and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the county jail for a period of not more than six months, or by both such fine and imprisonment.

CASE NO. ZA 97-0147(PAB)(ZAI) PAGE 4

Previous zoning related actions on the site in the area include:

Case No. ZA 97-0147(PAB)(ZAI) - under which on February 28, 1997, the Zoning Administrator determined the site had deemed approved conditional use status for the on-site sale of alcoholic beverages incidental to a restaurant of 3,400 square feet with seating for up to 134 persons.

A review of information attached to the file indicates that the current restaurant wishes to construct an outdoor deck area and to serve alcoholic beverages in that area as well, necessitating the instant filing in order to legally conduct such activity. The outdoor deck area is approximately 530± square feet in area and will accommodate up to 30 persons.

The surrounding properties are developed with commercial, retail and office related uses.

In the opinion of the Zoning Administrator, the request has merit as conditioned. The area in which the subject restaurant is located has direct easy access to a system of freeways and streets and is located in an area surrounded by established commercial uses. Further, the site is located along Ventura Boulevard, a street which is characterized by various entertainment uses, including a variety of restaurants and which serves a large visitor and resident population where a diversity of food and alcoholic beverages is desirable.

In view of the aforementioned considerations, there is no reason to believe that alcoholic beverage service including incidental to outdoor dining on-site at the involved restaurant cannot be undertaken in a responsible manner. The location of the restaurant is proper in relation to adjacent uses and to the development of the community being in conformance with the elements and objectives of the General Plan in which the Sherman Oaks District Plan designates use of the property for Commercial uses with corresponding zones of C2 and C4.

**BASIS FOR PLAN APPROVAL APPLICATIONS**  
A particular type of development is subject to the conditional use process because it has been determined that such use of property should not be permitted by right in a particular zone, but should have a separate review. Subsequent changes to such approved conditional uses may be approved pursuant to Section 12.24-G of the Code under the plan approval process if the requisite findings can be made.

**FINDINGS**  
In order for requests filed under Sections 12.24-F and G of the Los Angeles Municipal Code for plan approvals to be approved, the mandated findings delineated in Municipal Code Section 12.24-G must be made in the affirmative. Following (highlighted) is a delineation of the findings and the application of the relevant facts to same:

**ADDITIONAL MANDATORY FINDINGS**

- The proposed location will be desirable to the public convenience or welfare.  
As noted previously, the site is located in a commercial area noted for entertainment uses. Further, the business will serve those working and living in close proximity. It is common to offer alcoholic beverages incidental to the service of food in a restaurant and to have outdoor seating providing a unique setting for patrons.
- The location is proper in relation to adjacent uses or the development of the community.  
Being located in the heart of a vibrant commercial area and with no sensitive uses close to the restaurant so as to be impacted in any way by their presence, the location is clearly proper.
- The use will not be materially detrimental to the character of the development in the immediate neighborhood.  
The restaurant will not feature entertainment nor have late night hours. Also, the uses are consistent with the character of the area as an entertainment center. It is further deemed that the location of the involved restaurant with alcoholic beverage service will not be materially detrimental to the character of the development in the immediate area nor will it have an adverse impact on the economic welfare of the community. The patio area will have screen walls for mitigation. No hospitals, churches, schools, playgrounds, parks or similar uses are located in close proximity to the site, further, any impacts created can be moderated by proper security and management. The applicant has made arrangements for off-site parking at several nearby lots which are available.
- The proposed location will be in harmony with the various elements and objectives of the General Plan.  
The adopted Sherman Oaks-Studio City District Plan designates the site for commercial use in the midst of a well known regional commercial corridor; as such, the use is consistent with the Plan.
- The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 154,425, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding.
- On August 1, 1997, the subject project was issued a Notice of Exemption, Log Reference CE 97-0668-PAB, for a Categorical Exemption, Class 5, Category 34.

CASE NO. ZA 97-0147(PAB)(ZAI) PAGE 3

**APPEAL PERIOD - EFFECTIVE DATE**  
The applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or if the same be not complied with, then the applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code. THE ZONING ADMINISTRATOR'S DETERMINATION IN THIS MATTER WILL BECOME EFFECTIVE AFTER AUGUST 26, 1997 UNLESS AN APPEAL THEREFROM IS FILED WITH THE BOARD OF ZONING APPEALS. IT IS STRONGLY ADVISED THAT APPEALS BE FILED EARLY DURING THE APPEAL PERIOD AND IN PERSON SO THAT IMPERFECTIONS/INCOMPLETENESS MAY BE CORRECTED BEFORE THE APPEAL PERIOD EXPIRES. ANY APPEAL MUST BE FILED ON THE PRESCRIBED FORMS, ACCOMPANIED BY THE REQUIRED FEE AND RECEIVED AND RECEIPTED AT A PUBLIC OFFICE OF THE DEPARTMENT OF CITY PLANNING ON OR BEFORE THE ABOVE DATE OR THE APPEAL WILL NOT BE ACCEPTED. SUCH OFFICES ARE LOCATED AT:

Los Angeles City Hall 6251 Van Nuys Boulevard  
200 North Spring Street First Floor Van Nuys, CA 91401  
Room 460, Counter 5 Van Nuys, CA 91401  
Los Angeles, CA 90012 (818) 756-8506  
(213) 485-7826

**NOTICE**  
THE APPLICANT IS FURTHER ADVISED THAT ALL SUBSEQUENT CONTACT WITH THIS OFFICE REGARDING THIS DETERMINATION MUST BE WITH THE ZONING ADMINISTRATOR WHO ACTED ON THE CASE. THIS WOULD INCLUDE CLARIFICATION, VERIFICATION OF CONDITION COMPLIANCE AND PLANS OR BUILDING PERMIT APPLICATIONS, ETC., AND SHALL BE ACCOMPLISHED BY APPOINTMENT ONLY, IN ORDER TO ASSURE THAT YOU RECEIVE SERVICE WITH A MINIMUM AMOUNT OF WAITING. YOU SHOULD ADVISE ANY CONSULTANT REPRESENTING YOU OF THIS REQUIREMENT AS WELL.

**FINDINGS OF FACT**  
After thorough consideration of the statements contained in the application, prior Case No. ZA 97-0147(PAB)(ZAI), all of which are by reference made a part hereof, as well as knowledge of the property and the surrounding district, I find that the requirements for authorizing an approval of plans under the provisions of Section 12.24-F and G of the Municipal Code have been established by the following facts:

**BACKGROUND**  
The subject property is a level, generally rectangular-shaped parcel of land located on the south side of Ventura Boulevard within the Sherman Oaks community. The property is classified in the C2-1 Zone and developed with an existing restaurant.

CASE NO. ZA 97-0147(PAB)(ZAI) PAGE 5

- The proposed location will be desirable to the public convenience or welfare.  
As noted previously, the site is located in a commercial area noted for entertainment uses. Further, the business will serve those working and living in close proximity. It is common to offer alcoholic beverages incidental to the service of food in a restaurant and to have outdoor seating providing a unique setting for patrons.
- The location is proper in relation to adjacent uses or the development of the community.  
Being located in the heart of a vibrant commercial area and with no sensitive uses close to the restaurant so as to be impacted in any way by their presence, the location is clearly proper.
- The use will not be materially detrimental to the character of the development in the immediate neighborhood.  
The restaurant will not feature entertainment nor have late night hours. Also, the uses are consistent with the character of the area as an entertainment center. It is further deemed that the location of the involved restaurant with alcoholic beverage service will not be materially detrimental to the character of the development in the immediate area nor will it have an adverse impact on the economic welfare of the community. The patio area will have screen walls for mitigation. No hospitals, churches, schools, playgrounds, parks or similar uses are located in close proximity to the site, further, any impacts created can be moderated by proper security and management. The applicant has made arrangements for off-site parking at several nearby lots which are available.
- The proposed location will be in harmony with the various elements and objectives of the General Plan.  
The adopted Sherman Oaks-Studio City District Plan designates the site for commercial use in the midst of a well known regional commercial corridor; as such, the use is consistent with the Plan.
- The National Flood Insurance Program rate maps, which are a part of the Flood Hazard Management Specific Plan adopted by the City Council by Ordinance No. 154,425, have been reviewed and it has been determined that this project is located in Zone C, areas of minimal flooding.
- On August 1, 1997, the subject project was issued a Notice of Exemption, Log Reference CE 97-0668-PAB, for a Categorical Exemption, Class 5, Category 34.

CASE NO. ZA 97-0147(PAB)(ZAI) PAGE 6

City CEQA Guidelines, Article VII, Section 1, State EIR Guidelines, Section 15100, I hereby certify that action.

- Fish and Game: The subject project, which is located in Los Angeles County, will not have an impact on fish or wildlife resources or habitat upon which fish and wildlife depend as defined by California Fish and Game Code Section 711.2.

ROBERT JANOVICI  
Chief Zoning Administrator

RJ:mw  
cc: Councilmember Michael Feuer  
Fifth District  
Adjoining Property Owners  
County Assessor

**CHRISTOPHER KAPPELLER ARCHITECTURE**  
christopher.kappler@ck-arch.com  
639 S. Spring St., Suite 4a  
Los Angeles, CA 90014  
(213) 488-3860  
(213) 488-4988  
(323) 610-4947  
ck@ck-architecture.com

THE DRAWINGS, SPECIFICATIONS, IDEAS DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY SHALL REMAIN THE PROPERTY OF CK-ARCHITECTURE AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CK-ARCHITECTURE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

**LICENSED ARCHITECT**  
CHRISTOPHER KAPPELLER  
C-28371  
6-31-21  
RENEWAL DATE  
STATE OF CALIFORNIA

PROJECT: 14016 VENTURA BLVD, LOS ANGELES, CA 91403, RESTAURANT REMODEL

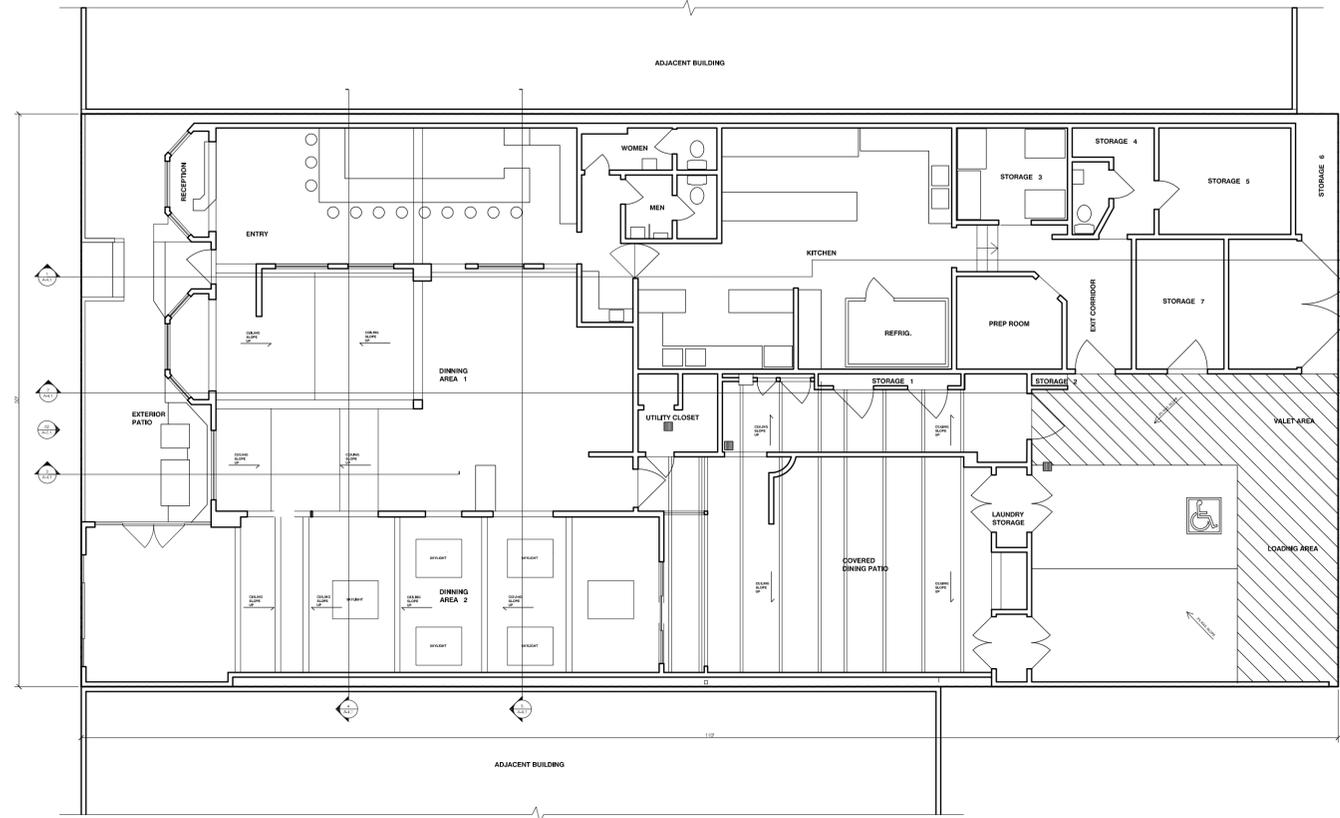
DATE: \_\_\_\_\_

ISSUED FOR: 2020-02-20

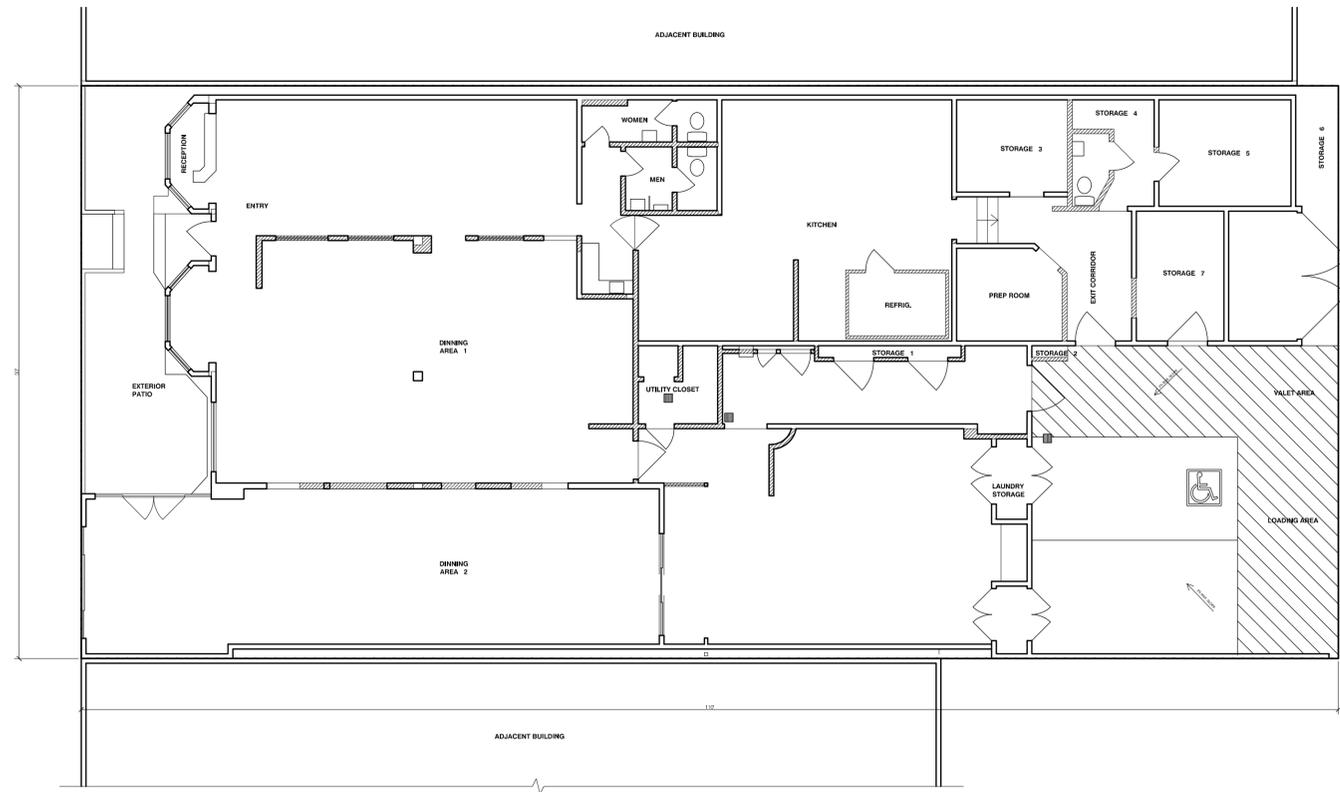
INFO: DRAWN BY: CK, AS  
SCALE: AS SHOWN  
JOB NO.: \_\_\_\_\_

TITLE: SITE PLAN: EXISTING AND PROPOSED, ZA CONDITIONS

NUMBER: A-0.2



04 AS-BUILT PLAN  
SCALE: 1/8" = 1'-0"



EXISTING WALLS TO BE REMOVED

03 DEMOLITION PLAN  
SCALE: 1/8" = 1'-0"

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PROJECT  
14016 VENTURA BLVD.  
LOS ANGELES, CA 91403  
RESTAURANT REMODEL

DATE:

ISSUED FOR:  
2020-02-20

INFO:  
DRAWN BY: CK, AS  
SCALE: AS SHOWN  
JOB NO.:

TITLE:  
AS BUILT PLAN, DEMO  
PLAN

NUMBER:  
**A-0.3**

Occupancy Analysis:

TAISHO OCCUPANCY CALCULATION:

| FLOOR LEVEL                            | ROOM NUMBER | ROOM NAME                                   | GROSS AREA | CBC TABLE 1004.1.2 MAX FLOOR AREA PER OCCUPANT | LOAD FACTOR | NO. OF FIXED SEATS | CALCULATED MAX. OCCUPANCY |
|----------------------------------------|-------------|---------------------------------------------|------------|------------------------------------------------|-------------|--------------------|---------------------------|
| G                                      | 101         | DINING AREA 1                               | 850        | Assemb. w/o fix seats (unconcentrated)         | 15          |                    | 56                        |
| G                                      |             | BAR COUNTER LENGTH: 44' 4" (1 per 18" lin.) |            | 1 occupant per 18" length of counter           | N/A         |                    | 29                        |
| G                                      | 102         | DINING AREA 2                               | 655        |                                                | 15          |                    | 43                        |
| G                                      | 103         | BAR BEHIND COUNTER                          | 86         | Kitchens commercial                            | 200         |                    | 1                         |
| G                                      | 104         | HALLWAY                                     | 85         | Other                                          | 100         |                    | 1                         |
| G                                      | 108         | KITCHEN                                     | 510        | Kitchens commercial                            | 200         |                    | 2                         |
| G                                      | 109         | WALK-IN COOLER                              | 96         | N/A                                            | 200         |                    | 0                         |
| G                                      | 110         | DISH WASH                                   | 125        | Kitchens commercial                            | 200         |                    | 1                         |
| G                                      | 111         | PREP / DESSERT                              | 174        | Kitchens commercial                            | 200         |                    | 1                         |
| G                                      | 112         | STORAGE 1                                   | 81         | Kitchens commercial                            | 200         |                    | 0                         |
| G                                      | 113         | DRY STORAGE 2                               | 116        | Kitchens commercial                            | 200         |                    | 0                         |
| G                                      | 113         | STORAGE 3                                   | 88         | Kitchens commercial                            | 200         |                    | 0                         |
| G                                      | 114         | TRASH                                       | 73         | N/A                                            | N/A         |                    | 0                         |
| GROUND FLOOR MAX. OCCUPANCY CALCULATED |             |                                             |            |                                                |             |                    | 134                       |
| NUMBER OF EXITS REQUIRED:              |             |                                             |            |                                                |             |                    | 2                         |
| NUMBER OF EXITS PROVIDED:              |             |                                             |            |                                                |             |                    | 2                         |
| COVERED OUTDOOR DINING PATIO           |             |                                             | 462        | Assemb. w/o fix seats (unconcentrated)         | 15          |                    | 30                        |
| TOTAL BUILDING OCCUPANCY               |             |                                             |            |                                                |             |                    | 164                       |
| OUTDOOR DECK, OPEN TO SKY              |             |                                             | 257        | Assemb. w/o fix seats (unconcentrated)         | 15          |                    | 19                        |

Plumbing Fixtures Analysis:

REQUIRED MINIMUM PLUMBING FIXTURES:

|                            | LOAD FACTOR AS PER CBC A-29A | AREA     | OCCUPANCY |
|----------------------------|------------------------------|----------|-----------|
| INDOOR DINING (GROUP A.2)  | 30                           | 1,505 SF | 50        |
| OUTDOOR EATING (GROUP A.2) | 30                           | 719 SF   | 24        |
| KITCHEN (GROUP B)          | 200                          | 1,100 SF | 6         |
| TOTAL OCCUPANCY            |                              |          | 80        |
| MEN/WOMEN                  |                              |          | 40        |
| Required:                  |                              |          | Provided: |
| Men's Toilets              | 1                            |          | 1         |
| Men's Urinal               | 1                            |          | 1         |
| Men's Lavatories           | 1                            |          | 1         |
| Women's Toilets            | 2                            |          | 2         |
| Women Lavatories           | 1                            |          | 1         |

Exit Analysis Symbols:

- Room Number
- Room Name
- # Calculated occupants
- # Cumulative occupant load at door
- X Exit sign

Accessibility Notes:

P MAXIMUM NUMBER OF EMPLOYEES: 4

**OUTDOOR DECK**

TOTAL NUMBER OF TABLE SEATS: 15  
 ACCESSIBLE TABLE SEATS REQUIRED: 1  
 ACCESSIBLE TABLE SEATS PROVIDED: 1

**BAR**

TOTAL NUMBER OF BAR SEATS: 20  
 ACCESSIBLE BAR SEATS REQUIRED: 1  
 ACCESSIBLE BAR SEATS PROVIDED: 1

**DINING AREA 1 AND 2**

TOTAL NUMBER OF TABLE SEATS: 77  
 ACCESSIBLE TABLE SEATS REQUIRED: 4  
 ACCESSIBLE TABLE SEATS PROVIDED: 4

**DINING PATIO**

TOTAL NUMBER OF TABLE SEATS: 22  
 ACCESSIBLE TABLE SEATS REQUIRED: 2  
 ACCESSIBLE TABLE SEATS PROVIDED: 2

**TOTAL NUMBER OF SEATS: 134**  
**TOTAL NUMBER OF ACCESSIBLE SEATS: 10**



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PROJECT: 14016 VENTURA BLVD, LOS ANGELES, CA 91403, RESTAURANT REMODEL

DATE:

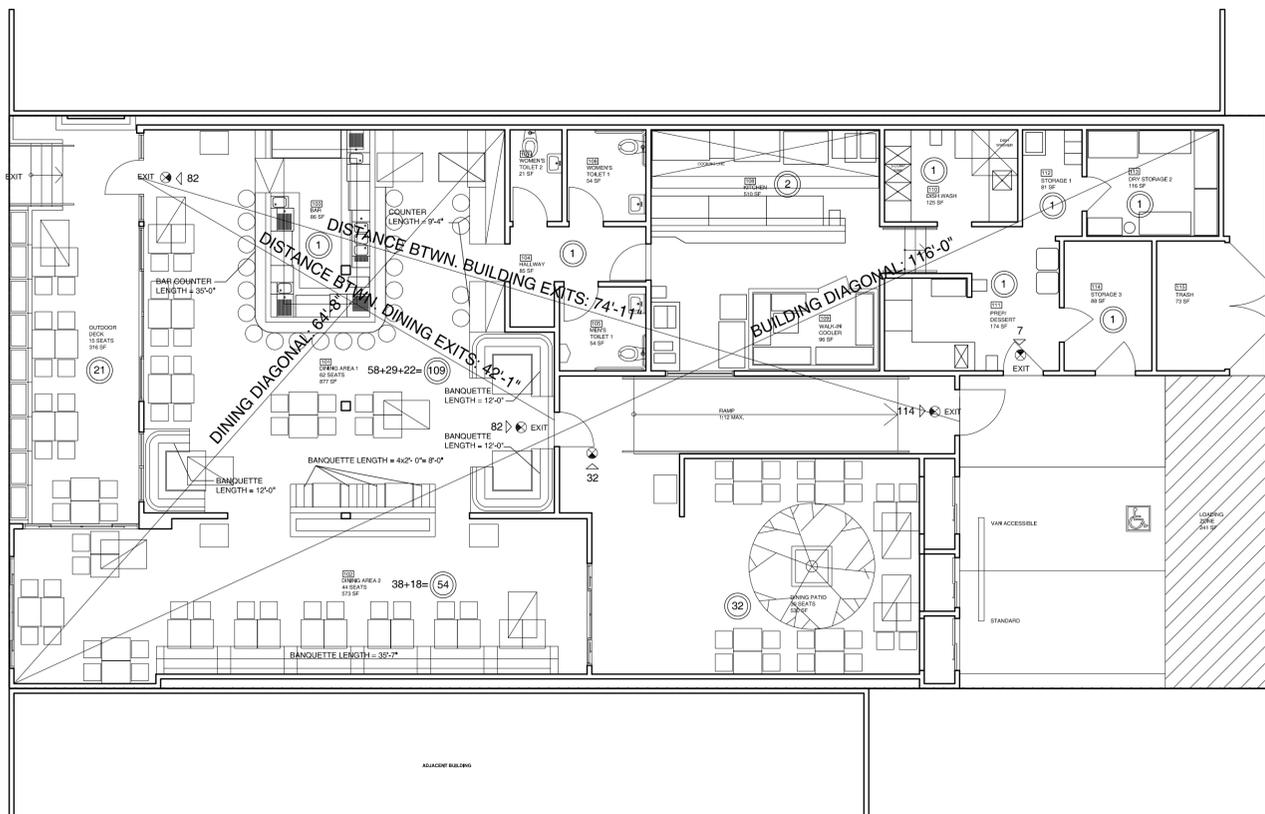
ISSUED FOR: 2020-02-20

INFO: DRAWN BY: CK, AS

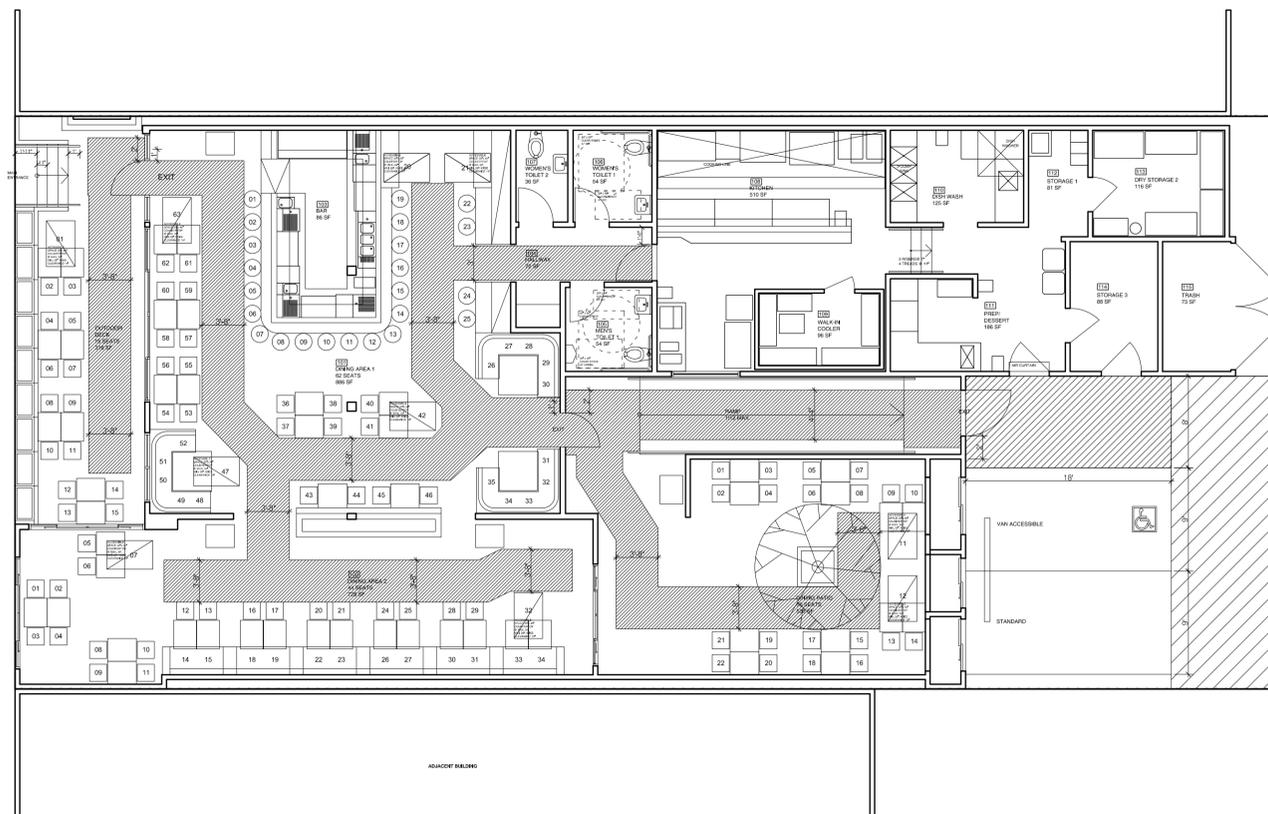
SCALE: AS SHOWN

TITLE: OCCUPANCY ANALYSIS, PLUMBING FIXTURE ANALYSIS, ACCESSIBLE PATH OF TRAVEL

NUMBER: A-2.0



02 OCCUPANCY AND EXIT PLAN  
 SCALE: 1/8" = 1'-0"



01 ACCESSIBLE PATH OF TRAVEL  
 SCALE: 1/8" = 1'-0"

**KEYNOTES:**

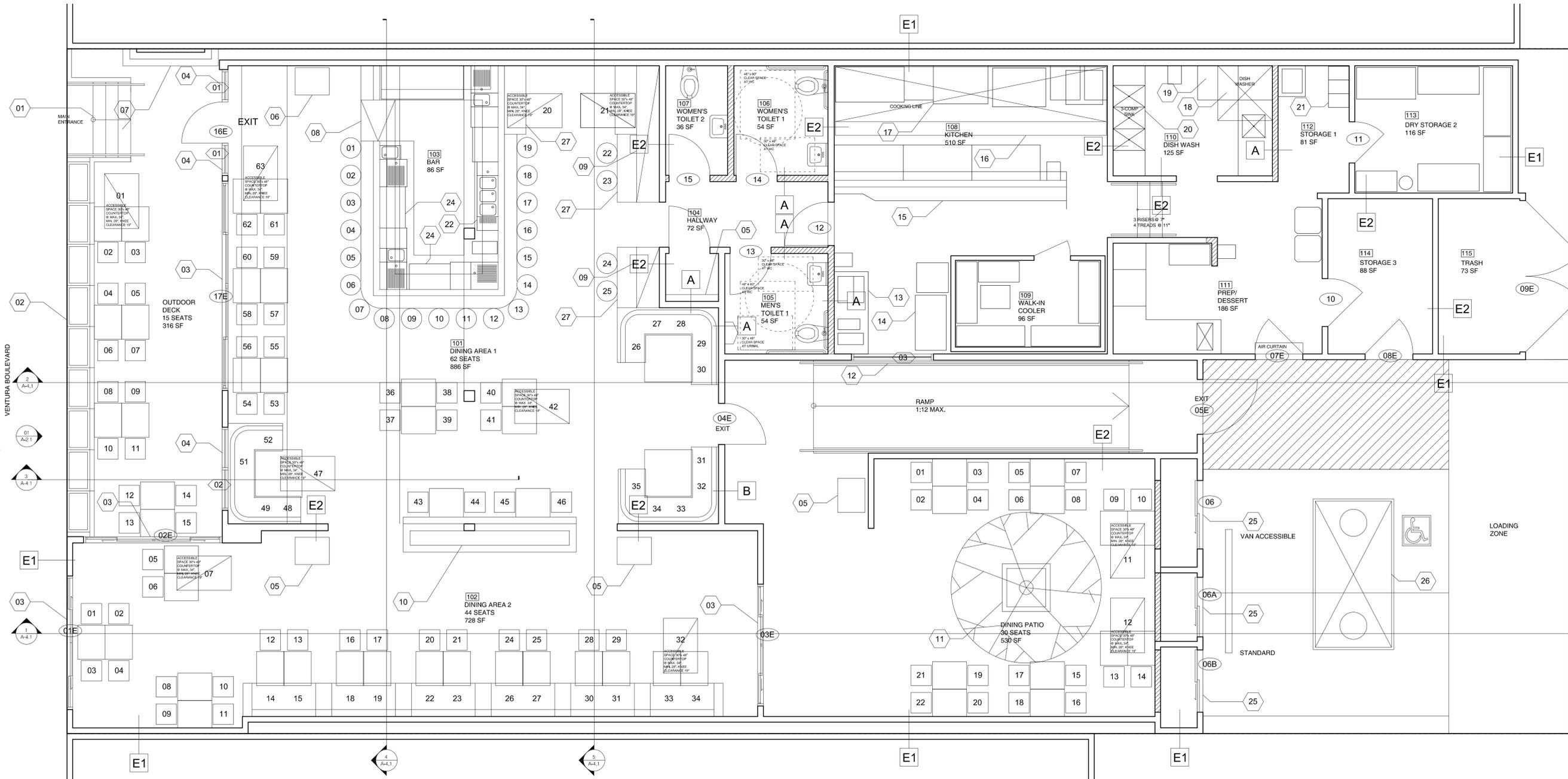
|    |                               |
|----|-------------------------------|
| 01 | (N) ENTRY STAIRS              |
| 02 | (N) PLANTER, TYP.             |
| 03 | (N) SLIDING DOORS             |
| 04 | (N) FIXED WINDOW              |
| 05 | SERVING POS                   |
| 06 | RECEPTION                     |
| 07 | RESTAURANT LOGO               |
| 08 | FLIP TOP                      |
| 09 | REFRIGERATED DISPLAY WALL     |
| 10 | INDOOR PLANTER                |
| 11 | (N) TREE                      |
| 12 | VISION PANEL TO KITCHEN       |
| 13 | SERVICE STATION               |
| 14 | ICE MACHINE                   |
| 15 | PLATE TABLE SHELF AND PICK-UP |
| 16 | TYPE I HOOD                   |

|    |                                                                                                                         |
|----|-------------------------------------------------------------------------------------------------------------------------|
| 17 | COOKING LINE                                                                                                            |
| 18 | DISH WASHER                                                                                                             |
| 19 | TYPE II HOOD                                                                                                            |
| 20 | 3-COMP SINK                                                                                                             |
| 21 | LOCKERS                                                                                                                 |
| 22 | 3-COMP BAR SINK                                                                                                         |
| 23 | NOT USED                                                                                                                |
| 24 | 3F JOCKEY                                                                                                               |
| 25 | SLIDING GATE                                                                                                            |
| 26 | GREASE INTERCEPTOR: JENSEN 1500 OR EQUAL APPROVED, BELOW GRADE                                                          |
| 27 | ACCESSIBLE BAR COUNTER 60" LONG COUNTER TOP @ MAX. 34", 27" MIN. KNEE CLEAR OF 19", NO FOOTRAIL (SEE DETAIL 09 / A-5.2) |
| 28 | BABY DIAPER CHANGING STATION                                                                                            |
| 29 |                                                                                                                         |
| 30 |                                                                                                                         |
| 31 |                                                                                                                         |
| 32 |                                                                                                                         |

**WALL NOTES:**

|    |     |                                                                                                                                                                                                                                                                                            |
|----|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| E1 | (N) | EXISTING EXTERIOR WALL                                                                                                                                                                                                                                                                     |
| E2 | (N) | EXISTING INTERIOR PARTITION                                                                                                                                                                                                                                                                |
| A  | (N) | PARTITION WALL WITH 3-3/4" STUDS AT 16" O.C. W/ ONE LAYER OF GWB EACH SIDE. RESILIENT LAYER ON ONE SIDE. 4" ACOUSTIC INSULATION, UL DES U404, NEW EW HS SS ON KITCHEN SIDE. CARRY TO 6" ABOVE FINISH CEILING.                                                                              |
| B  | (N) | NEW EXTERIOR WALL: BASE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED AT RIGHT ANGLES TO EACH SIDE OF 2" X 4" WOOD STUDS 16" STUD SPACING AND 6" SCREWS O.C. 3/4" STUCCO APPLIED TO EXTERIOR SIDE TO MATCH EXISTING WALL FINISHING. 1 HR. STC 34 (TEST # USG-30-FT-G&H) |

NOTE:  
CONTRACTOR TO VERIFY ALL SITE MEASUREMENTS  
PRIOR TO COMMENCEMENT OF THE WORKS



01 FLOOR PLAN PROPOSED  
SCALE: 1/4" = 1'-0"



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14016 VENTURA BLVD  
LOS ANGELES, CA 91403  
RESTAURANT REMODEL

DATE:

ISSUED FOR:

2020-02-20

INFO:

DRAWN BY: CK, AS

SCALE: AS SHOWN

JOB NO.:

TITLE:

FLOOR PLAN

PROPOSED

NUMBER:

A-2.1

| WINDOW SCHEDULE |                       |      |              |                |           |        |               |              |             |             |                    |               |                       |                   |  |  |         |  |                                                 |
|-----------------|-----------------------|------|--------------|----------------|-----------|--------|---------------|--------------|-------------|-------------|--------------------|---------------|-----------------------|-------------------|--|--|---------|--|-------------------------------------------------|
| WINDOW NUMBER   | MATERIAL              |      |              |                | SIZE      |        |               | DETAILS      |             |             |                    | ROOM LOCATION | HARDWARE REQUIREMENTS |                   |  |  | REMARKS |  |                                                 |
|                 | WINDOW TYPE / PROFILE | MODE | GLAZING TYPE | FRAME MATERIAL | WIDTH     | HEIGHT | ROUGH OPENING | FRAME FINISH | SILL HEIGHT | JAMB HEIGHT | SILL DETAIL / TYPE |               | RATING                | INTERIOR LOCATION |  |  |         |  |                                                 |
| GROUND LEVEL    |                       |      |              |                |           |        |               |              |             |             |                    |               |                       |                   |  |  |         |  |                                                 |
| 01              |                       | FIX  | TEMP.LAM     | WD             | 2'-4 1/4" | 7'-3"  |               | PAINT        | 0'-0"       |             |                    | N/A           | DINING AREA 1         |                   |  |  |         |  | DOUBLE GLAZED UNIT: 1/8" TEMPERED, 1/8" REGULAR |
| 02              |                       | FIX  | TEMP.LAM     | WD             | 6'-1"     | 3'-7"  |               | PAINT        | 3'-1"       |             |                    | N/A           | DINING AREA 1         |                   |  |  |         |  | DOUBLE GLAZED UNIT: 1/8" TEMPERED, 1/8" REGULAR |
| 03              |                       | FIX  | TEMP.LAM     | WD             | 6'-0"     | 4'-5"  |               | PAINT        | 3'-3"       |             |                    | N/A           | KITCHEN               |                   |  |  |         |  | DOUBLE GLAZED UNIT: 1/8" TEMPERED, 1/8" REGULAR |

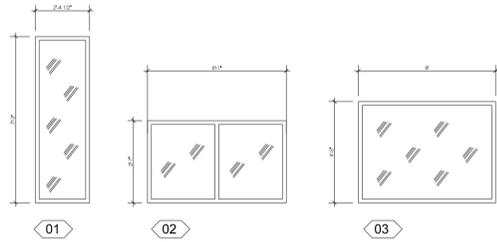
04 WINDOW SCHEDULE  
SCALE: N/A

| DOOR SCHEDULE |                     |      |               |                |            |        |           |                     |             |             |                    |                 |                 |                       |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
|---------------|---------------------|------|---------------|----------------|------------|--------|-----------|---------------------|-------------|-------------|--------------------|-----------------|-----------------|-----------------------|-----------------|------------------|----------------|---------|--------------|--------------------|------------|-----------------------|---------------------|--|--|--|--|--|--|--|--|--|--|--|--|-------------------------------------|----------------------------------|-------------------------------------|
| DOOR NUMBER   | MATERIAL            |      |               |                | SIZE       |        |           | DETAILS             |             |             |                    | SWING DIRECTION |                 | HARDWARE REQUIREMENTS |                 |                  |                | REMARKS |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
|               | DOOR TYPE / PROFILE | MODE | DOOR MATERIAL | FRAME MATERIAL | WIDTH      | HEIGHT | THICKNESS | DOOR & FRAME FINISH | HEAD DETAIL | JAMB DETAIL | SILL DETAIL / TYPE | RATING          | INSIDE LOCATION | OUTSIDE LOCATION      | HARDWARE FINISH | EXIT ACCESS DOOR | PANIC HARDWARE |         | SELF CLOSING | MAGNETIC HOLD OPEN | SMOKE SEAL | THUMB LATCH ON INSIDE | NO LOCKING HARDWARE |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| GROUND LEVEL  |                     |      |               |                |            |        |           |                     |             |             |                    |                 |                 |                       |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 01E           | D                   | SL   | ALU GLAZ      | ALU            | 9'-9"      | 7'-0"  | 1-1/2"    |                     |             |             |                    | N/A             | DINING AREA 2   | EXTERIOR              |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 02E           | D                   | SL   | ALU GLAZ      | ALU            | 10'-2"     | 7'-0"  | 1-1/2"    |                     |             |             |                    | N/A             | DINING AREA 2   | OUTDOOR DECK          |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 03E           | D                   | SL   | ALU GLAZ      | ALU            | 8'-11"     | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | DINING AREA 2   | DINING PATIO          |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 04E           | D                   | S    | WD            | HM             | 3'-0"      | 7'-0"  | 1-1/2"    |                     |             |             |                    | N/A             | DINING AREA 1   | DINING PATIO          |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  | SELF CLOSING DEVICE, PANIC HARDWARE |
| 05E           | GATE                | S    | WD            | HM             | 4'-0"      | 7'-2"  | 1-1/2"    |                     |             |             |                    | N/A             | DINING PATIO    | EXTERIOR              |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     | SELF CLOSING DEVICE              |                                     |
| 06            | GATE                | SL   | WD            | WD             | 5'-0"      | 6'-2"  | 1-1/2"    |                     |             |             |                    | N/A             | STORAGE         | EXTERIOR              |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 06A           | GATE                | SL   | WD            | WD             | 4'-4"      | 6'-2"  | 1-1/2"    |                     |             |             |                    | N/A             | STORAGE         | EXTERIOR              |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 06B           | GATE                | SL   | WD            | WD             | 4'-6 1/2"  | 6'-2"  | 1-1/2"    |                     |             |             |                    | N/A             | STORAGE         | EXTERIOR              |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 07E           | D                   | S    | WD            | WD             | 3'-6"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | EXTERIOR        | PREP/DESSERT          |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     | AIR CURTAIN, SELF CLOSING DEVICE |                                     |
| 08E           | D                   | S    | WD            | WD             | 3'-6"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | EXTERIOR        | STORAGE 3             |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     | SELF CLOSING DEVICE              |                                     |
| 09E           | GATE                | P    | WD            | WD             | 11'-0 1/2" | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | TRASH ENCLOSURE | EXTERIOR              |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |
| 10            | D                   | S    | WD            | WD             | 3'-6"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | PREP/DESSERT    | STORAGE 3             |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     | SELF CLOSING DEVICE              |                                     |
| 11            | D                   | S    | WD            | WD             | 3'-0"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | STORAGE 1       | DRY STORAGE 2         |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     | SELF CLOSING DEVICE              |                                     |
| 12            | D                   | S    | WD            | WD             | 3'-2"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | KITCHEN         | HALLWAY               |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  | SELF CLOSING DEVICE                 |                                  |                                     |
| 13            | D                   | S    | WD            | WD             | 3'-0"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | HALLWAY         | WC                    |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  | SELF CLOSING DEVICE                 |                                  |                                     |
| 14            | D                   | S    | WD            | WD             | 3'-0"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | HALLWAY         | WC                    |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  | SELF CLOSING DEVICE                 |                                  |                                     |
| 15            | D                   | S    | WD            | WD             | 3'-0"      | 6'-8"  | 1-1/2"    |                     |             |             |                    | N/A             | WC              | HALLWAY               |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  | SELF CLOSING DEVICE                 |                                  |                                     |
| 16E           | D                   | SL   | WD.GLAZ       | WD             | 3'-0"      | 7'-3"  | 1-1/2"    |                     |             |             |                    | N/A             | DINING AREA 1   | OUTDOOR DECK          |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  | SELF CLOSING DEVICE, PANIC HARDWARE |                                  |                                     |
| 17E           | D                   | SL   | WD.GLAZ       | WD             | 15'-3 1/2" | 7'-3"  | 1-1/2"    |                     |             |             |                    | N/A             | OUTDOOR DECK    | DINING AREA 1         |                 |                  |                |         |              |                    |            |                       |                     |  |  |  |  |  |  |  |  |  |  |  |  |                                     |                                  |                                     |

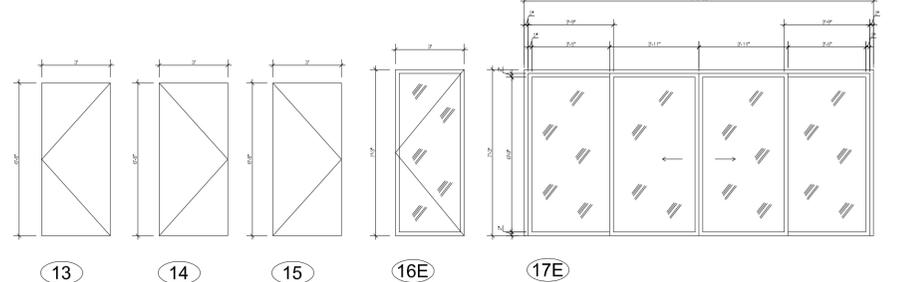
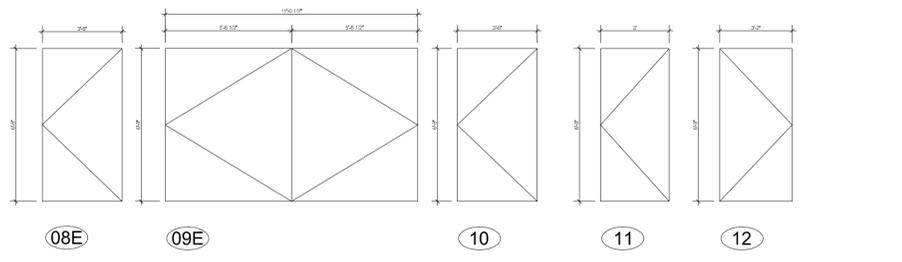
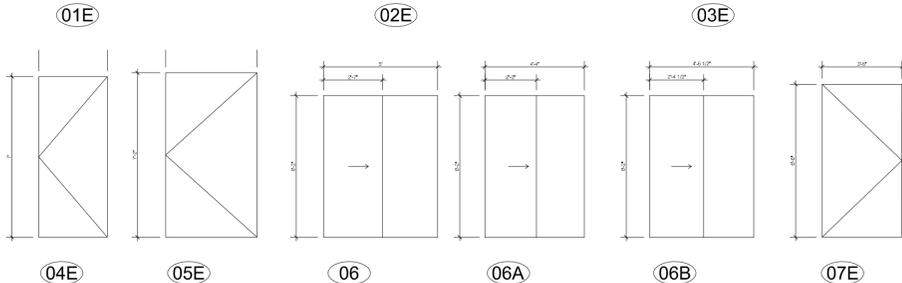
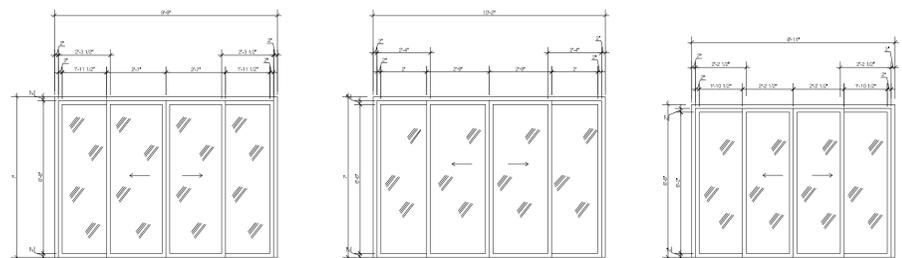
| ABBREVIATIONS |             |    |          |      |                                     |    |              |      |          |     |                   |
|---------------|-------------|----|----------|------|-------------------------------------|----|--------------|------|----------|-----|-------------------|
| S             | SINGLE LEAF | SL | SLIDING  | ALUM | ALUMINUM THRESHOLD WITH RUBBER SEAL | HM | HOLLOW METAL | GLAZ | GLAZING  | ORB | OIL RUBBED BRONZE |
| P             | PAIR        | E  | EXTERIOR | EXTG | EXISTING                            | WD | WOOD         | ALU  | ALUMINUM | CA  | CLEAR ANODIZED    |

02 DOOR SCHEDULE  
SCALE: N/A

NOTE:  
CONTRACTOR TO VERIFY ALL SITE MEASUREMENTS  
PRIOR TO COMMENCEMENT OF THE WORKS



03 WINDOW SCHEDULE  
SCALE: 1/4" = 1'-0"



01 DOOR SCHEDULE  
SCALE: 1/4" = 1'-0"



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LOS ANGELES, CA 91403  
RESTAURANT REMODEL

DATE:

ISSUED FOR:  
2020-02-20

INFO:  
DRAWN BY: CK, AS  
SCALE: AS SHOWN  
JOB NO.:

TITLE:  
DOOR SCHEDULE;  
WINDOW SCHEDULE

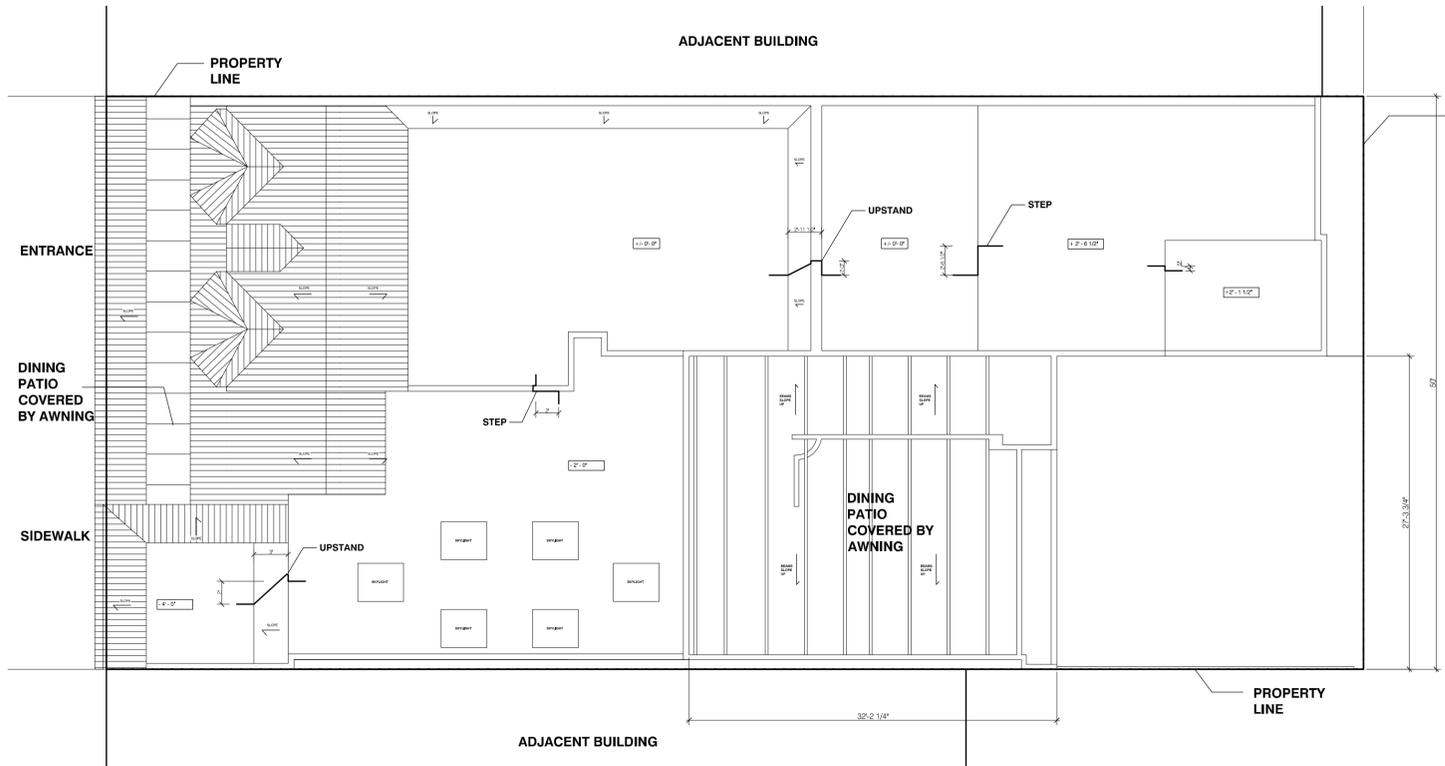
NUMBER:  
A-2.2

NOTE:  
CONTRACTOR TO VERIFY ALL SITE MEASUREMENTS  
PRIOR TO COMMENCEMENT OF THE WORKS



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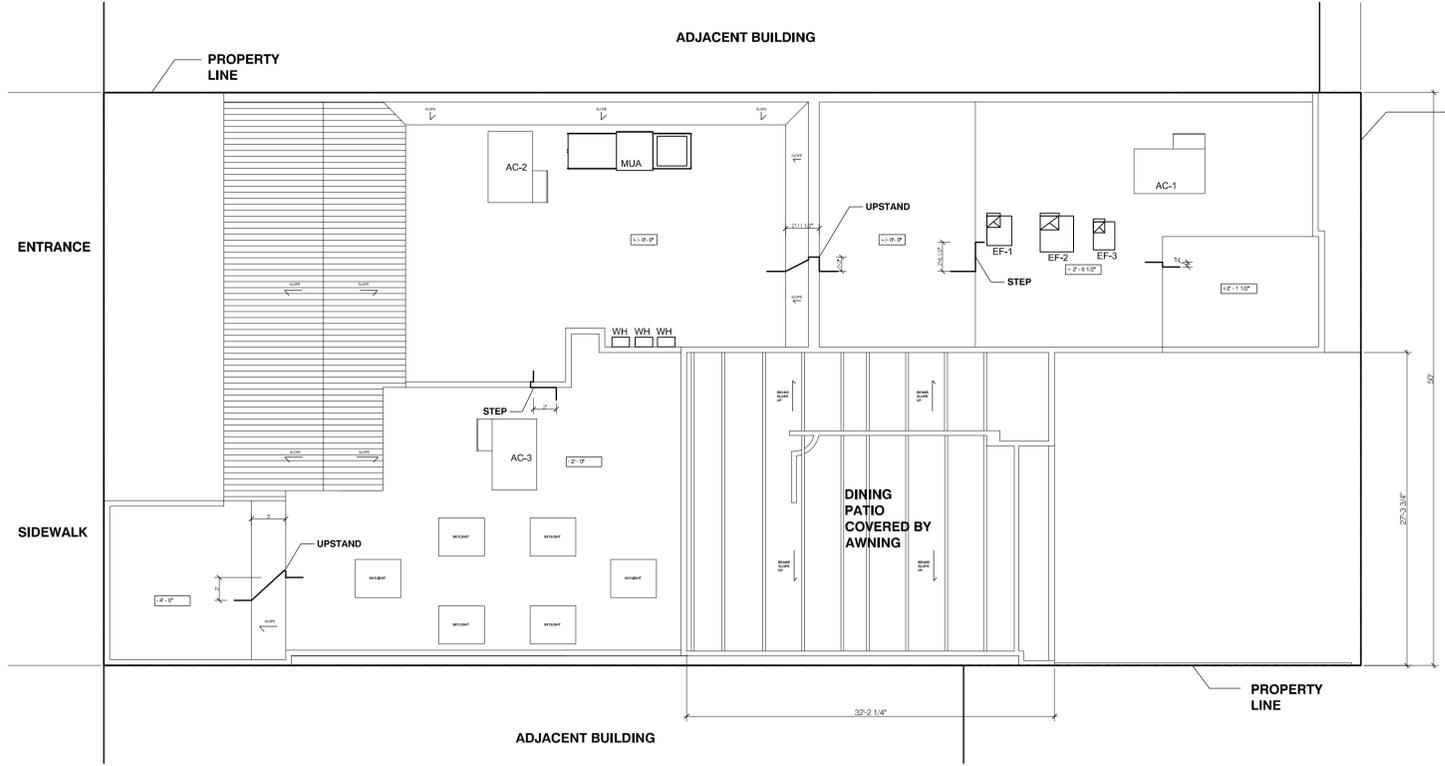
THE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY SHALL REMAIN THE PROPERTY OF CK-ARCHITECTURE, AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF CK-ARCHITECTURE. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.



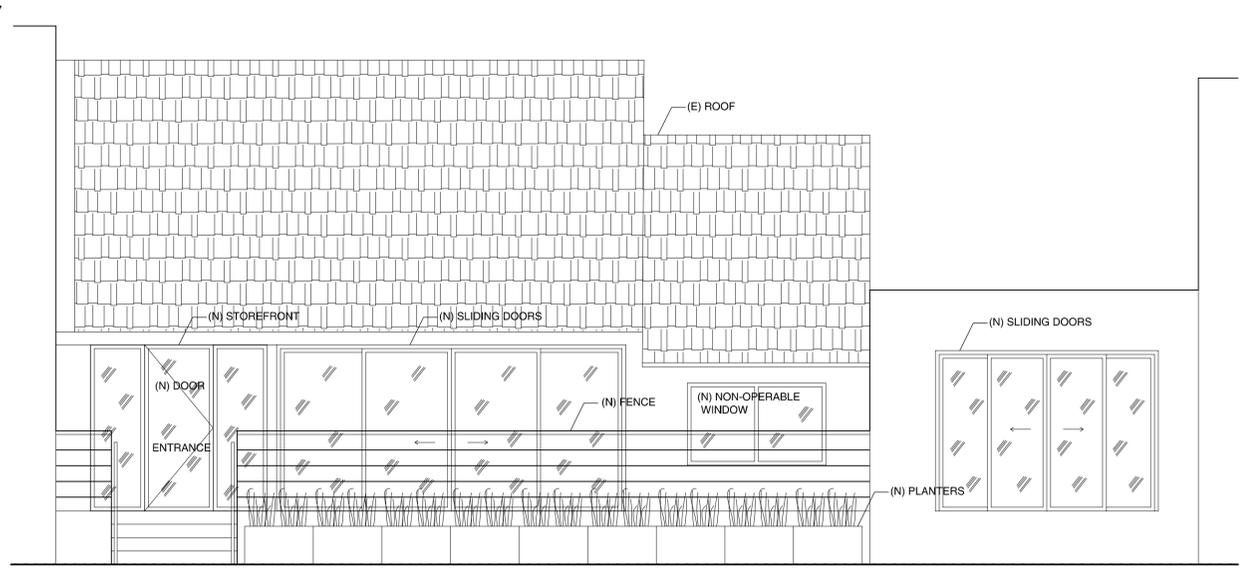
04 ROOF PLAN EXISTING  
SCALE: 1/8" = 1'-0"



02 ELEVATION EXISTING  
SCALE: 1/4" = 1'-0"



03 ROOF PLAN PROPOSED  
SCALE: 1/8" = 1'-0"



01 ELEVATION PROPOSED  
SCALE: 1/4" = 1'-0"

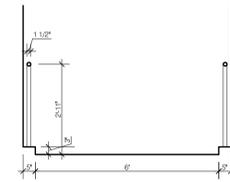
|             |                                                                   |
|-------------|-------------------------------------------------------------------|
| PROJECT     | 14016 VENTURA BLVD<br>LOS ANGELES, CA 91403<br>RESTAURANT REMODEL |
| DATE:       |                                                                   |
| ISSUED FOR: | 2020-02-20                                                        |
| INFO:       | DRAWN BY: CK, AS<br>SCALE: AS SHOWN<br>JOB NO.:                   |
| TITLE:      | ROOF PLANS AND<br>ELEVATIONS<br>EXISTING<br>AND PROPOSED          |
| NUMBER:     | A-4.2                                                             |

NOTE:  
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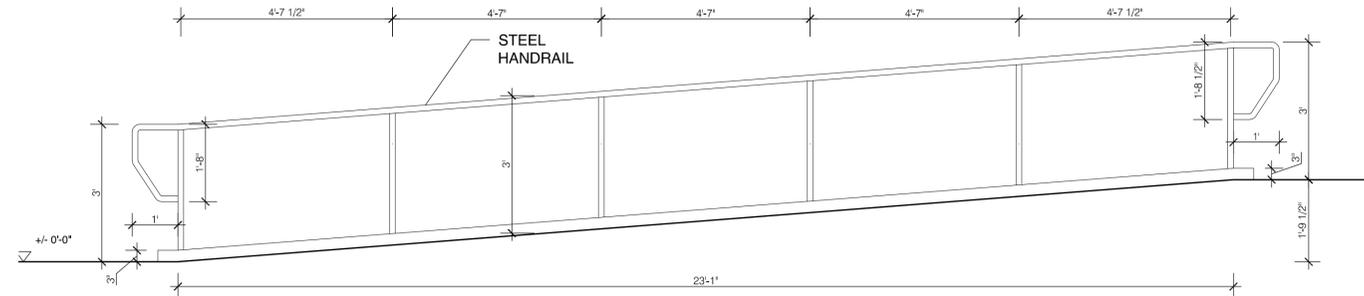


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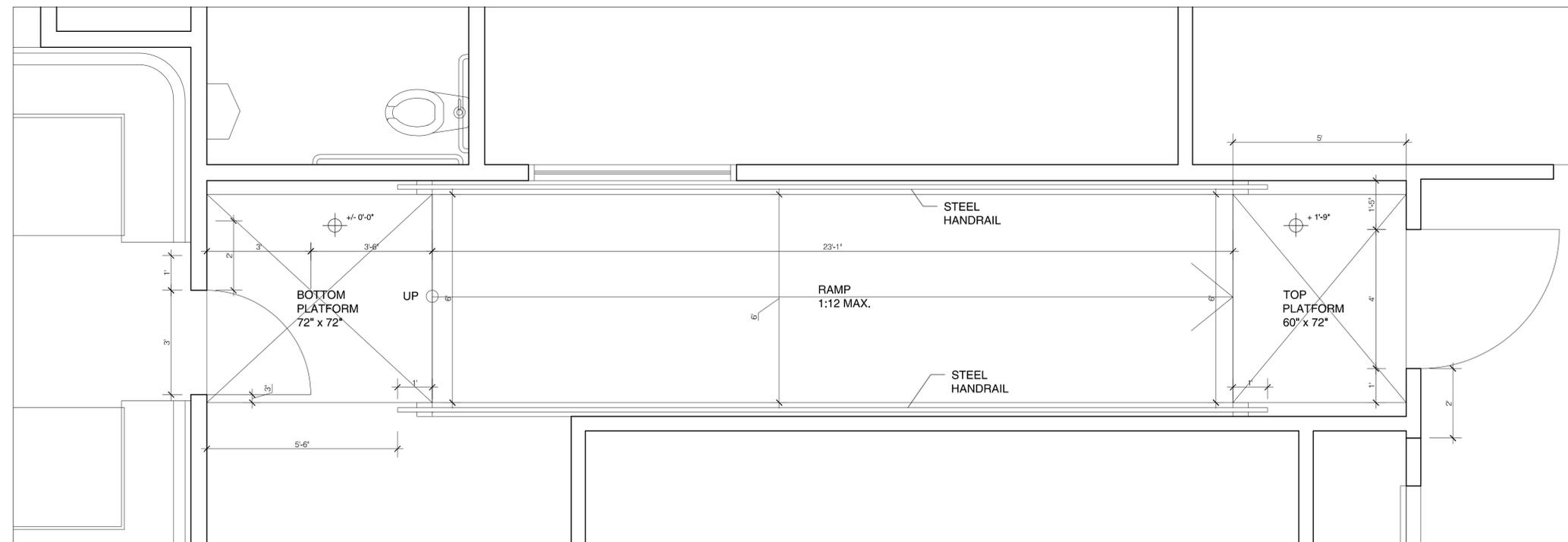
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03 RAMP: CROSS SECTION  
SCALE: 1/2" = 1'-0"



02 RAMP: LONGITUDINAL SECTION  
SCALE: 1/2" = 1'-0"



01 RAMP: ENLARGED PLAN  
SCALE: 1/2" = 1'-0"

PROJECT  
14016 VENTURA BLVD.  
LOS ANGELES, CA 91403  
RESTAURANT REMODEL

DATE:

ISSUED FOR:  
2020-02-20

INFO:  
DRAWN BY: CK, AS  
SCALE: AS SHOWN  
JOB NO.:

TITLE:  
RAMP DETAILS

NUMBER:  
A-5.2

NOTE:  
CONTRACTOR TO VERIFY ALL SITE MEASUREMENTS  
PRIOR TO COMMENCEMENT OF THE WORKS



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PROJECT  
14016 VENTURA BLVD  
LOS ANGELES, CA 91403  
RESTAURANT REMODEL

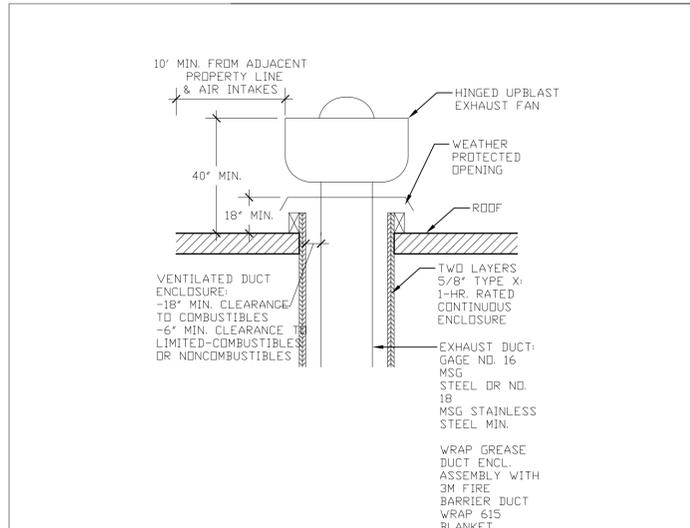
DATE:

ISSUED FOR:  
2020-02-20

INFO:  
DRAWN BY: CK, AS  
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JOB NO.:

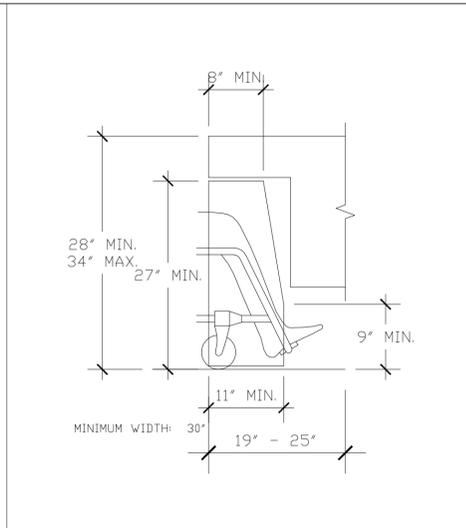
TITLE:  
TOILET ROOM DETAILS

NUMBER:  
A-5.3



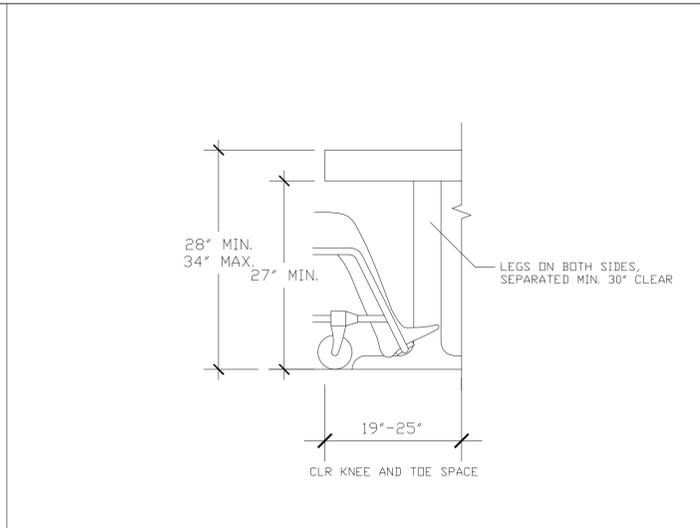
TYPE I HOOD EXHAUST ROOFTOP TERMINATION

12



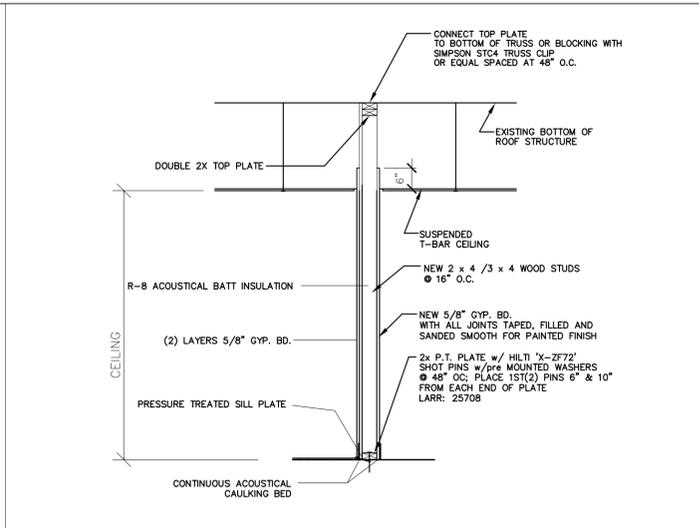
ACCESSIBLE COUNTERTOP

9



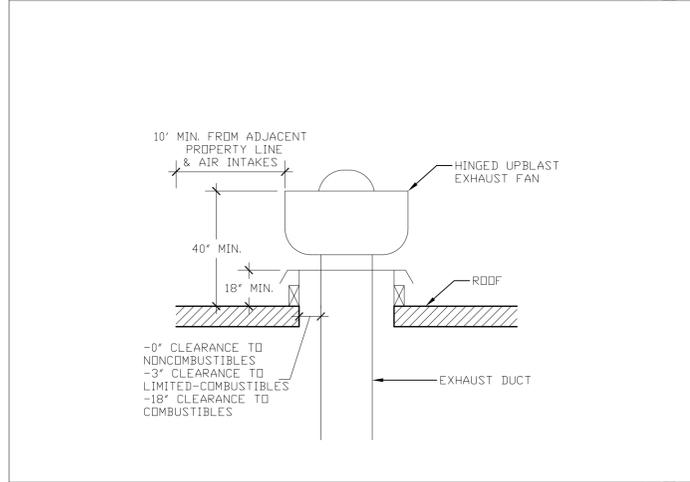
ACCESSIBLE TABLE SECTION

5



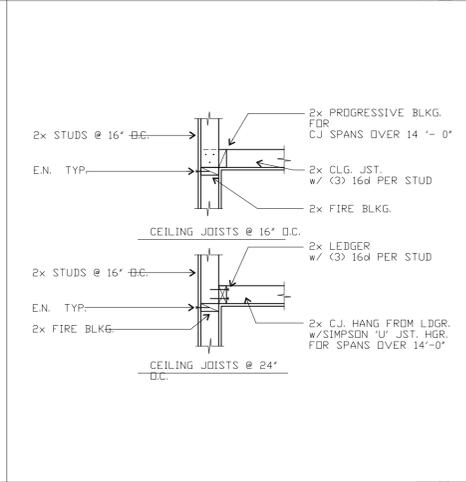
DEMISING PARTITION

1



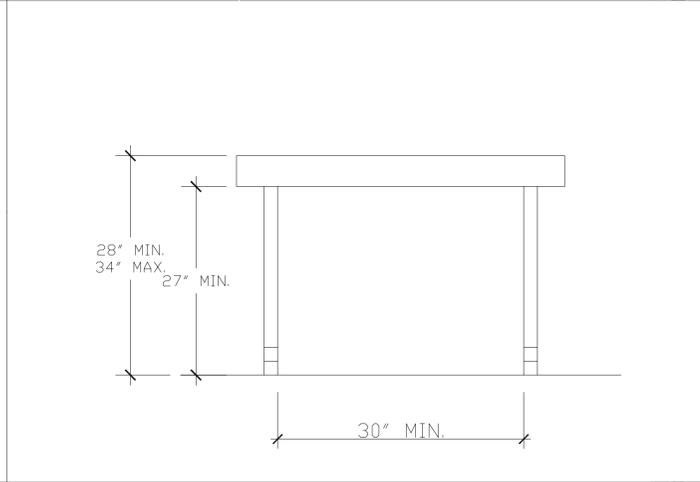
TYPE II HOOD EXHAUST ROOFTOP TERMINATION

13



TYP. CEILING JOIST BALLOON FRAME WALL

10



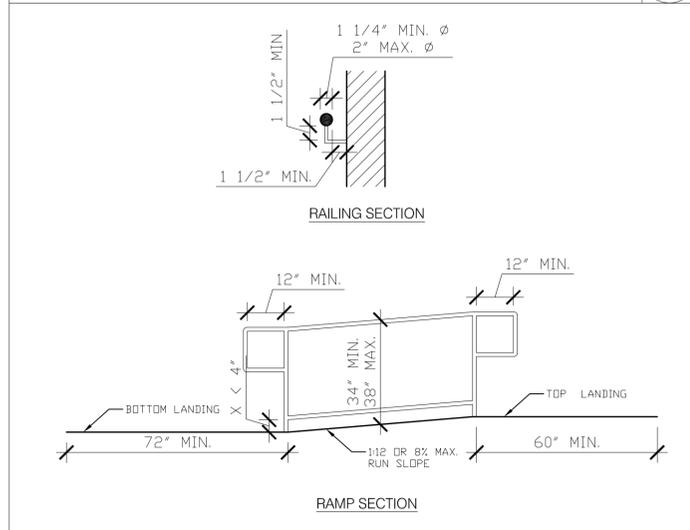
ACCESSIBLE TABLE ELEVATION

7



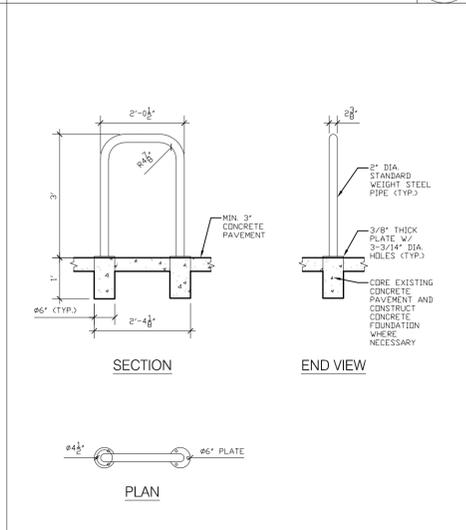
NOT USED

3



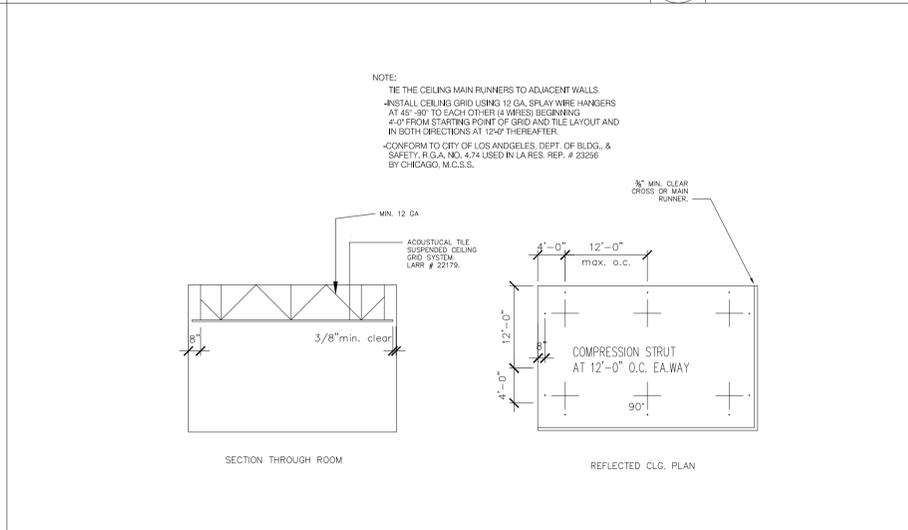
ACCESSIBLE RAMP

14



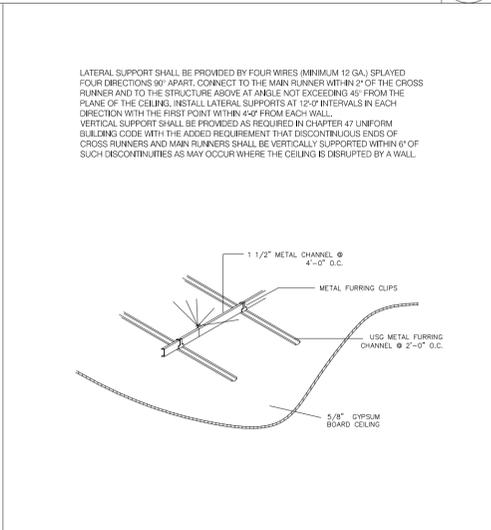
BICYCLE PARKING DETAIL

11



TYP. SUSPENDED CEILING

8

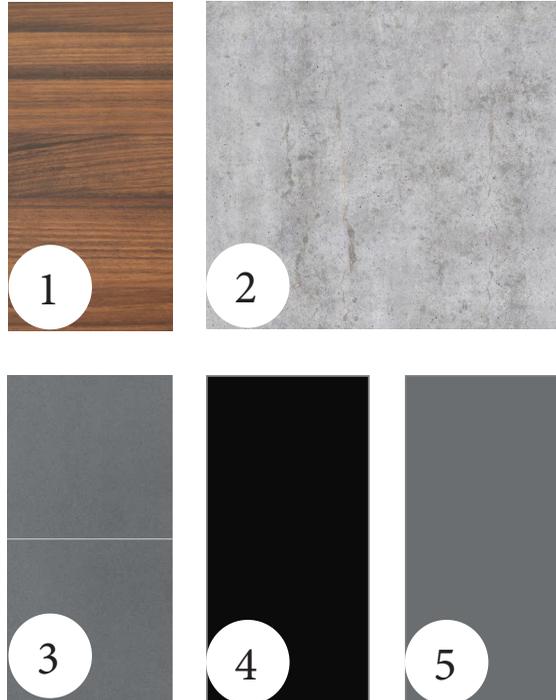


GYPSUM BOARD CEILING

4

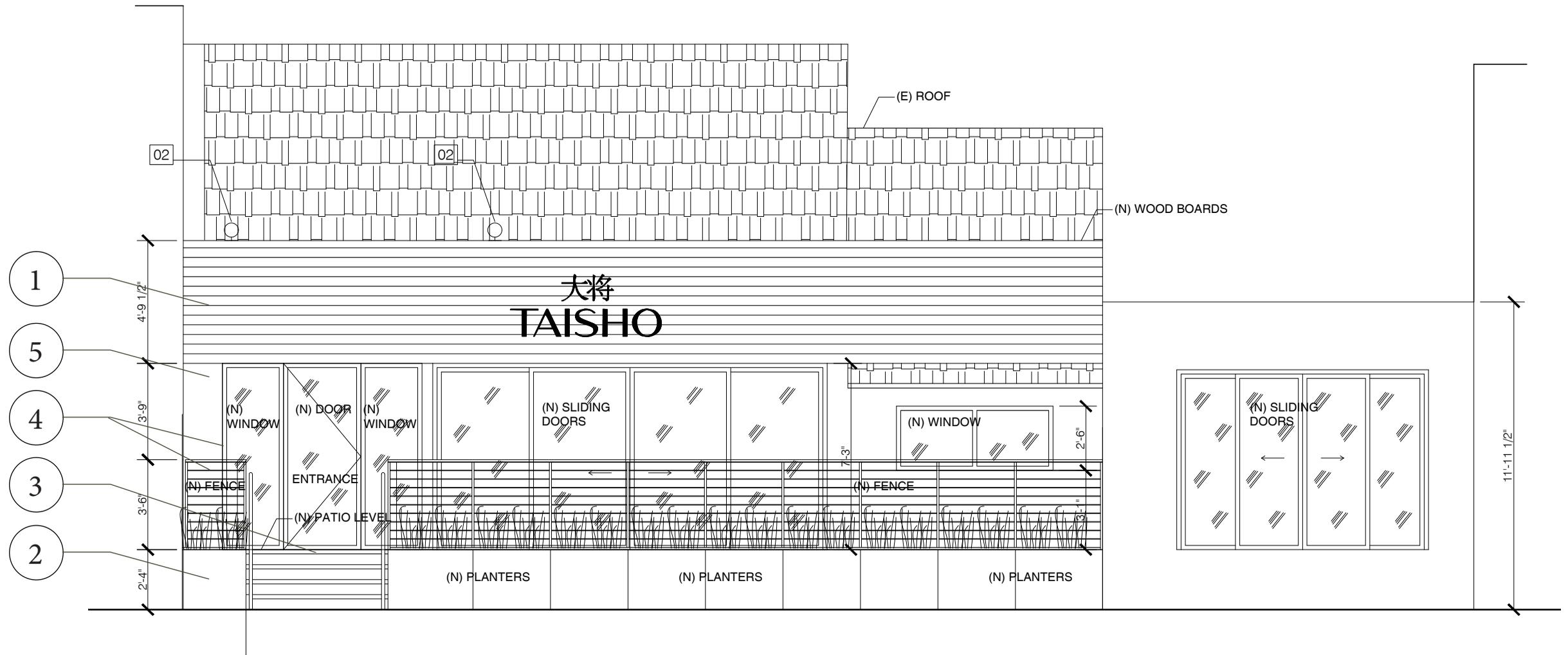
TAISHO IS A CASUAL MODERN JAPANESE RESTAURANT. THE RESTAURANT STANDS OUT FROM TYPICAL COMMERCIAL RETAIL WITH ITS ART-DRIVEN DESIGN COMBINING MODERN TASTES WITH TRADITIONAL ELEMENTS. WE PROPOSED A FACADE THAT HAD A CONTEMPORARY LOOK WITH GREAT PRESENCE, AND THE SAME TIME WE WANTED SOME OF THE LIFE OF THE INTERIOR TO BE REVEALED TO THE PEOPLE ACROSS THE STREET. WHILE THE DESIGN IS CERTAINLY INSPIRED BY JAPANESE INTERIORS, IT IS REINTERPRETED HERE TO AVOID INDULGING IN THE CLICHE. HUMBLE BUT NOT AUSTERE, SIMPLE BUT NOT LACKING, WE IMAGINE A SPACE THAT IS ELEGANT AND FINISHED. TAKING CUES FROM THE PROCESS AND SEQUENCE OF THE MENU, THE DESIGN AIMS TO CREATE A FOCUSED VISUAL FIELD FROM SEQUENCED AND REPEATED PATTERNS AND MOVEMENT IN MATERIAL.

## MATERIAL SCHEME



## MATERIAL LIST:

1. DECK ROOFTOP SIGNAGE:  
SADDLE TREX WOOD
2. PLANTERS: CONCRETE
3. PATIO FLOOR FINISH:  
GRANADA CEMENT TILE SIL-  
VER
4. WINDOW, DOOR  
FRAME, WIRE FENCE:  
FINISHCOATING BLACK -  
UC40577
5. EXTERIOR WALLS:  
SW 76 GRAY SHINGLE PAINT



TAISHO RESTAURANT  
 14016 VENTURA BLVD.  
 LOS ANGELES, CA 91403

**STREET ELEVATION**  
 SCHEMATIC INTERIOR DESIGN  
 10-07-2019

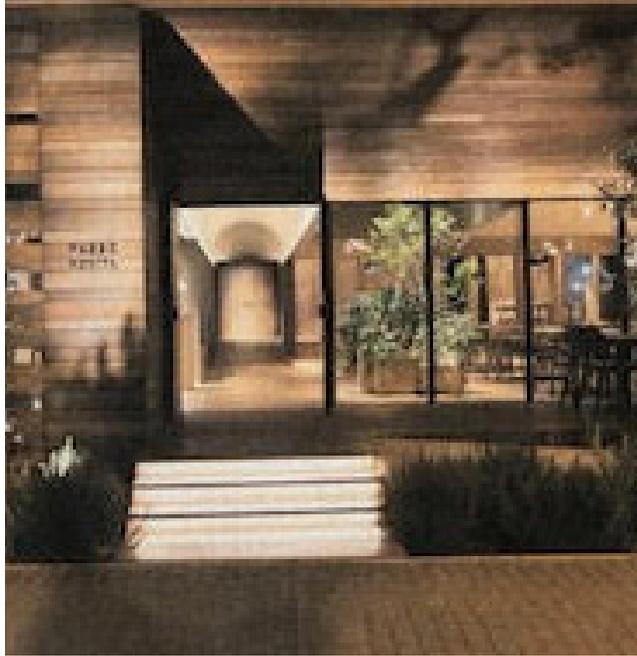
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COMBINATION OF WOOD AND BRICK



WIRE FENCE



GREEN WALLS AND ROOFS

