

MOORPARK APARTMENTS

Description of the Proposed Project

Construction of a new four-story, 26,175 square-foot, 25-unit residential project, with a 1,500 square-foot at-grade and 10,300 square-foot subterranean garage level for a total of 39 parking spaces and 28 bicycle parking spaces located at 13267 & 13271 Moorpark St, Los Angeles, CA 91423.

Zoning. The site is a C2-1VL zoned vacant lot with no trees. The Q condition has limited the use of the lot to R-3 zoned lots. Therefore, the proposed project is designed based on R-3 regulations. Height limit per zoning is 45 feet. The proposed project maximum height is 44'-11".

Open Space. Required Open Space is 3,100 square feet. The project is proposing 2,770 square feet balconies and terraces as Private Open space and a 740 square-foot roof deck as a Common Open Space that leads to the total of 3510 square feet.

Density Bonus

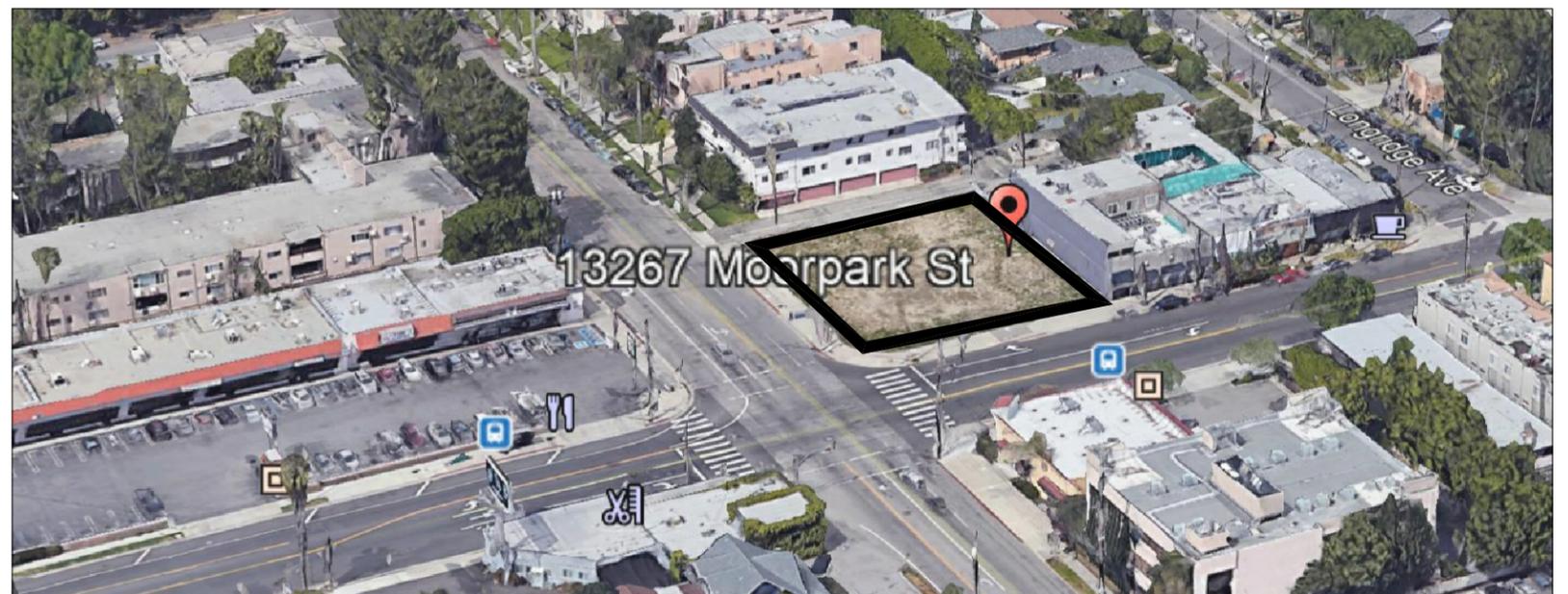
-Residential Density. The project increases the density by 35% to allow 25 units in lieu of 18 units.

-Affordable units. The project is proposing two very low income housing units and is using two in-menu incentives:

1- FAR. The project is requesting 35 percent increase in FAR to have a maximum allowable residential area of 26,515 SF in lieu of 19,641 SF.

2- Height. The project is requesting 11 feet height increase in transitional height of 100' radius from R-1 zoned lot to allow 44 feet in lieu of the 33 feet transitional height.

Automotive Parking. Required parking spaces is calculated per option 1 LAMC Sec.12.22.A.25, Ordinance 179,681. One space for one-bedroom and 2 spaces for two or three bedrooms. Since the project is providing 28 long-term bicycle parking spaces it is eligible for six car parking reduction. Therefore, the required number of parking spaces is 39 and the project is proposing 39 parking spaces including three handicap spaces and three electrical vehicle spaces.





tel: 918.200.5005 ppp@labyrinth-ds.com

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PROJECT:
NEW APARTMENT BUILDING AT
13267-13271 W. MOORPARK STREET
LOS ANGELES, CALIFORNIA 91423

NO.	REVISIONS

SHEET TITLE

AERIAL VIEW

A-01.4

SCALE: _____

DRAWN P.P. _____

START DATE: 12/2017 _____

JOB NUMBER: MOORPARK 13267 _____

SHEET _____



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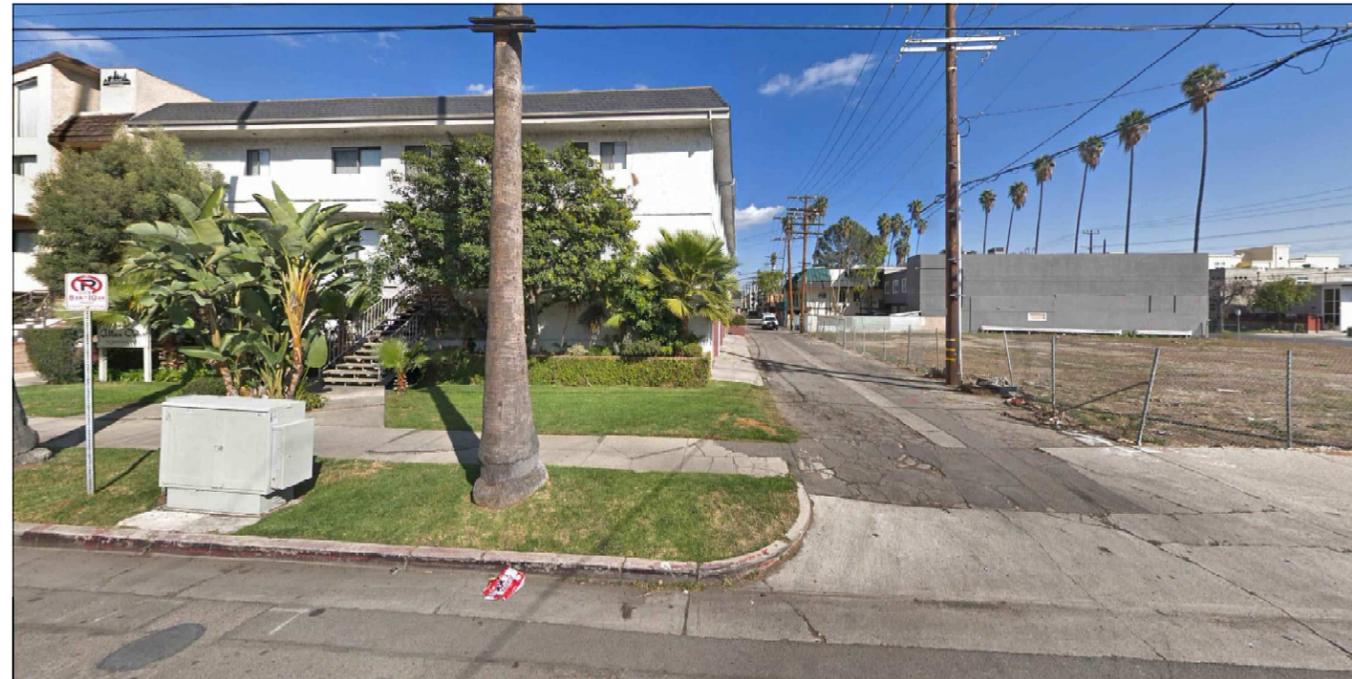
PHOTOS

A-01.5

SCALE: _____
DRAWN P.P. _____
START DATE: 12/2017
JOB NUMBER: MOORPARK 13267
SHEET



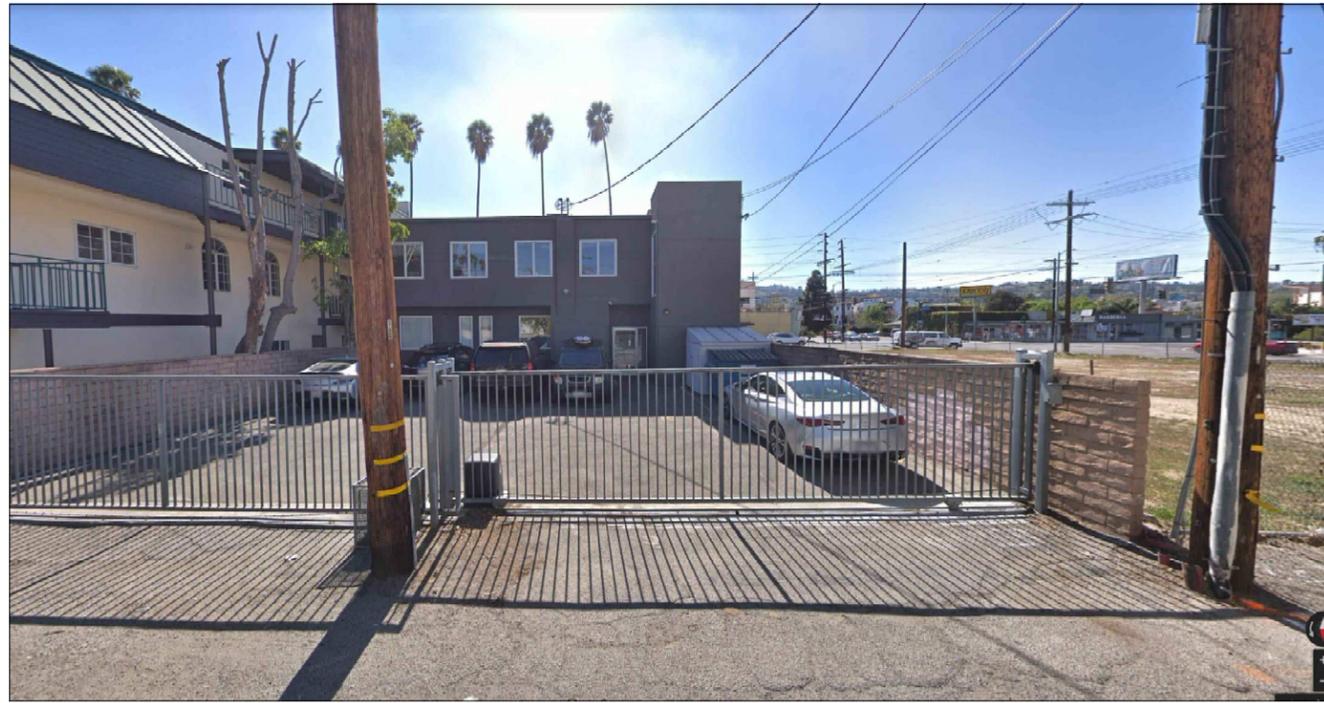
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②



INDEX MAP



①



②



INDEX MAP



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NO.	REVISIONS

SHEET TITLE

PHOTOS

A-01.6

SCALE:

DRAWN P.P.

START DATE: 12/2017

JOB NUMBER: MOORPARK 13267

SHEET



①



②



INDEX MAP



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NO.	REVISION

SHEET TITLE

PHOTOS

A-01.7

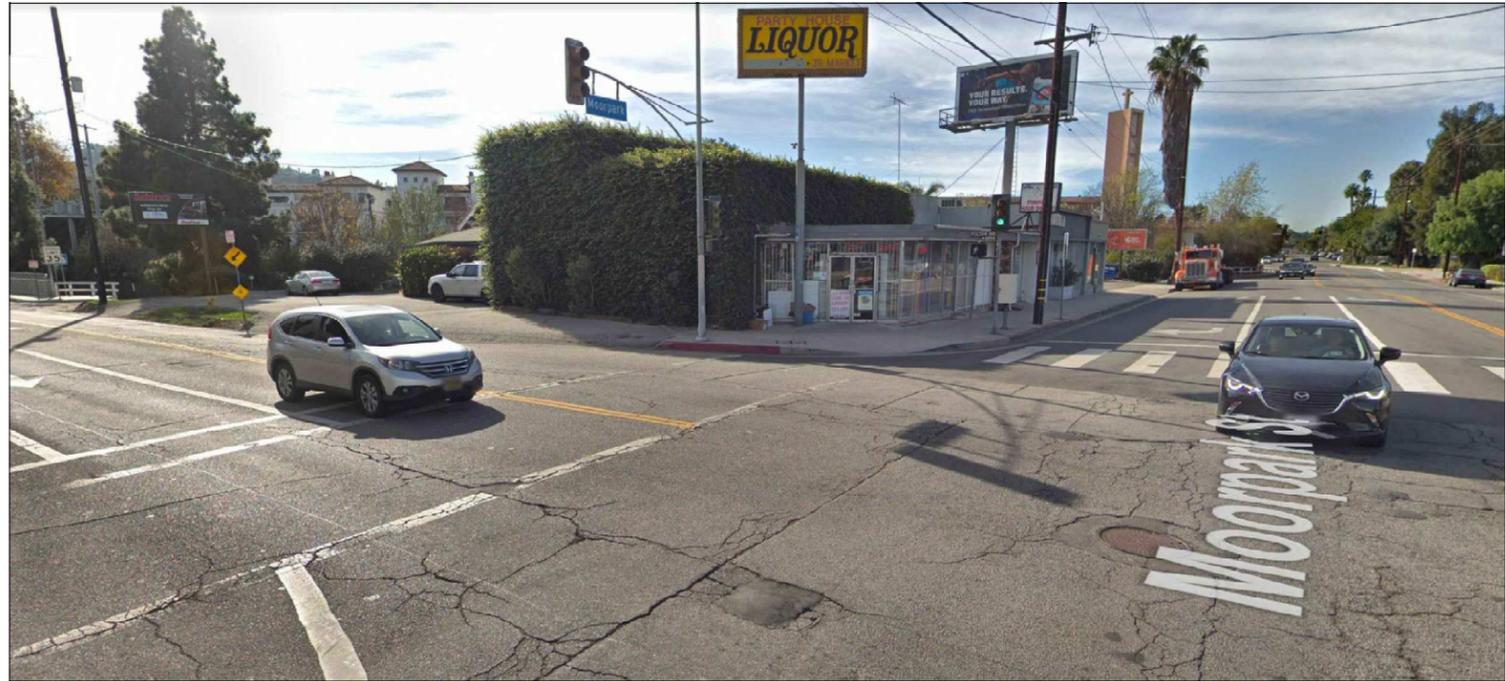
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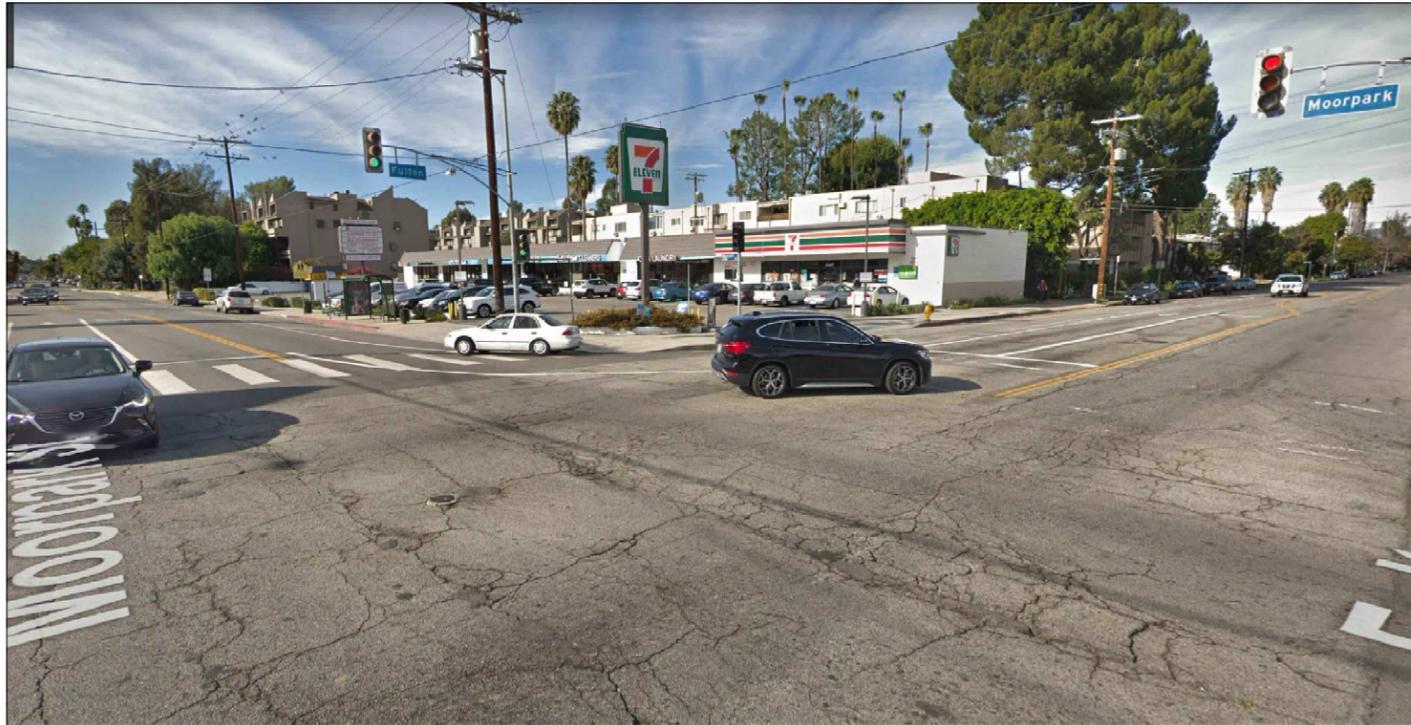
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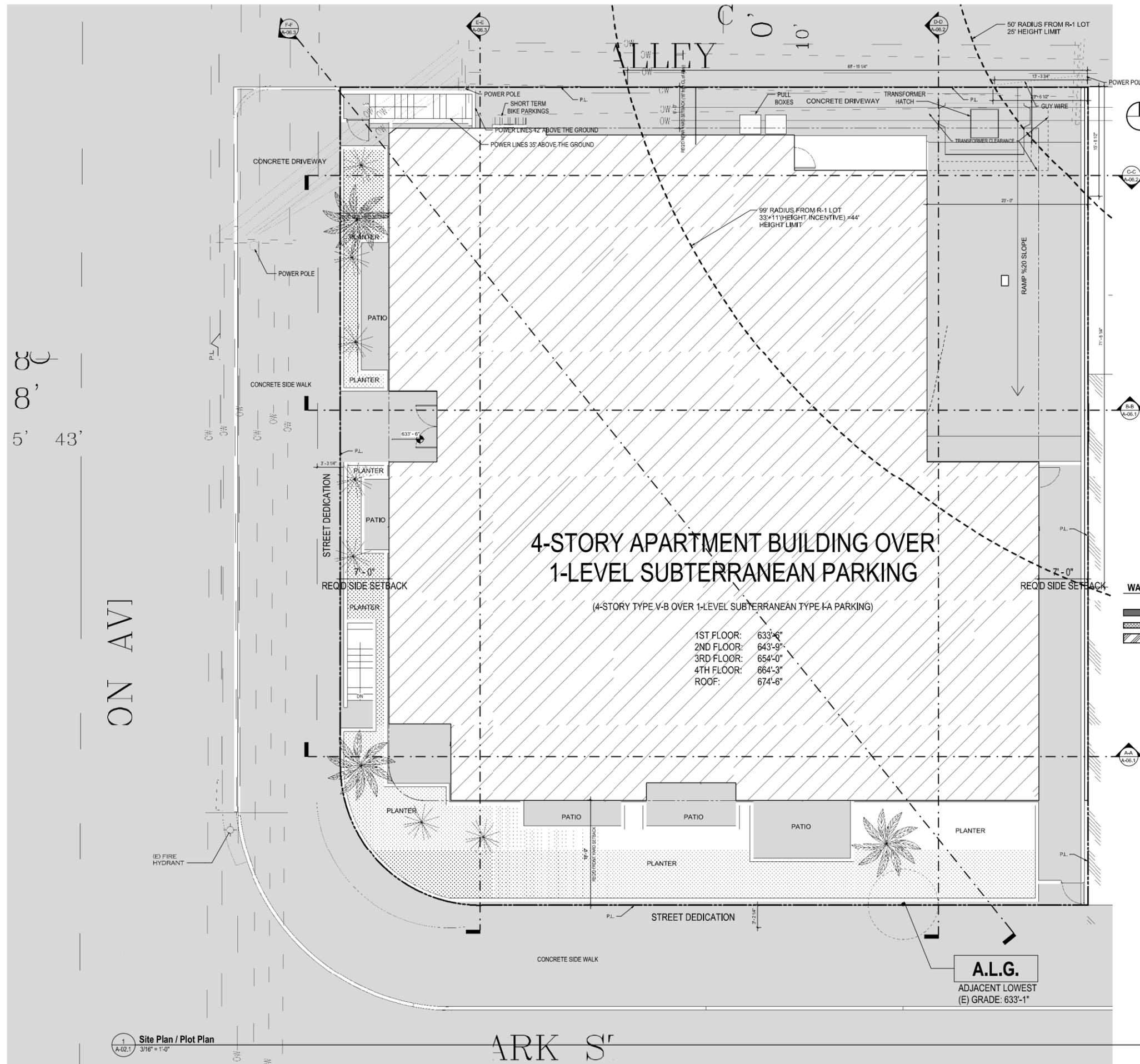
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NO.	REVISIONS

SHEET TITLE

PHOTOS

SCALE: _____
 DRAWN P.P. _____
 START DATE: 12/2017 _____
 JOB NUMBER: MOORPARK 13267 _____
 SHEET _____



Notes Site Plan

Note Number	Note Text
A1	LANDSCAPE
A2	HARDSCAPE
A3	DRIVEWAY
A4	ACCESSIBLE RAMP (1:12 SLOPE)
A5	SHORT TERM BICYCLE RACKS (REFER TO NOTE 1)
A6	ELECTRICAL METER
A7	GAS METER
A8	RAINBIRD ESP MODULAR WEATHER-BASED IRRIGATION CONTROLLER
A9	FUTURE SOLAR SYSTEM INVERTER AND METERING EQUIPMENT
A10	MIN. 50"-DEEP FLOW-THRU PLANTER (SEE DRAINAGE PLANS FOR DETAILS)
A11	WATER FEATURE

- Notes
1. SHORT TERM BICYCLE RACKS SHALL BE MIN. 2' WIDE INDIVIDUAL RACKS INSTALLED SIDE BY SIDE TO ONE ANOTHER, SO THAT IT WOULD ALLOW BICYCLES TO BE LOCKED TO EITHER SIDE OF THE RACK. RACKS SHALL BE SPACED A MIN. OF 30" ON CENTER. RACKS SHALL ALLOW FOR THE BICYCLE FRAME AND AT LEAST ONE WHEEL TO BE LOCKED TO THE RACKS. THE RACK SHALL ALLOW FOR THE USE OF CABLE AS WELL AS U-SHAPED LOCK. RACKS SHALL BE SECURELY ANCHORED TO A PERMANENT SURFACE.
 2. 100% OF HARDSCAPE TO BE UNCOLORED CONCRETE W/ SMOOTH CONCRETE FINISH W/ SOLAR REFLECTANCE >= 0.30 AS DETERMINED BY ASTM E1918 OR C1549+ 3540 SF (SOLAR REFLECTANCE 39 SEE SPEC. A-13.2)

WALL TYPE LEGEND

- Max. 50" Planter Wall
- Max. 6'-high Block Wall
- Parking Retaining Wall

4-STORY APARTMENT BUILDING OVER 1-LEVEL SUBTERRANEAN PARKING

(4-STORY TYPE V-B OVER 1-LEVEL SUBTERRANEAN TYPE FA PARKING)

- 1ST FLOOR: 633'-6"
- 2ND FLOOR: 643'-9"
- 3RD FLOOR: 654'-0"
- 4TH FLOOR: 664'-3"
- ROOF: 674'-6"

A.L.G.
ADJACENT LOWEST
(E) GRADE: 633'-1"

8'
5' 43"

ON AVI

ARK ST

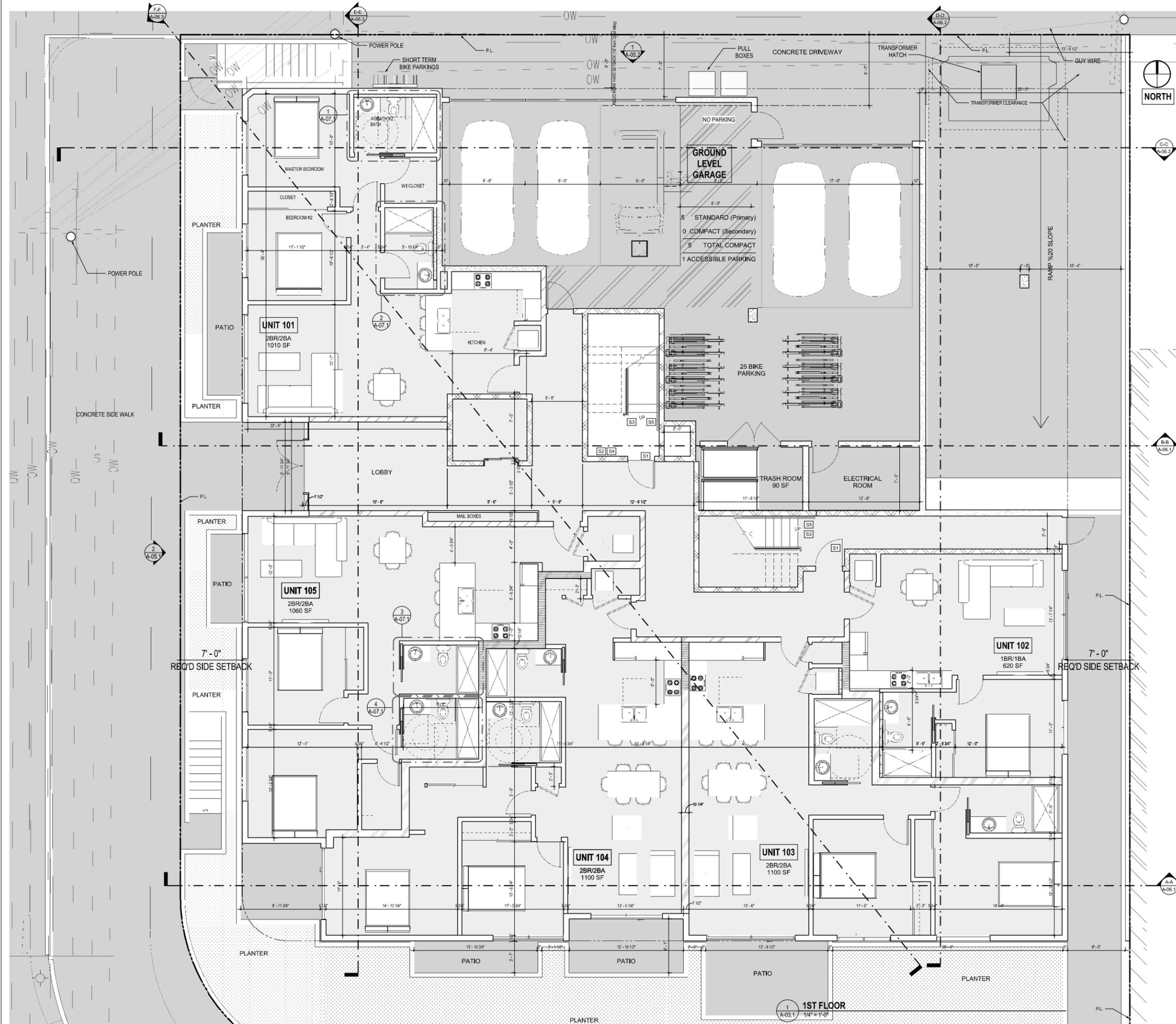
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02	INTERIOR CAST IRON DOWNSPOUT PROVIDE 42" MIN. HIGH RAILING
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04	RAINWATER PIPE TO RUN BETWEEN BALCONY FLOOR JOIST TO THE FACE OF EXTERIOR WALL AND CONNECT TO DOWNSPOUT
05	DOWNSPOUT DRAIN TO BE DISCHARGED TO THE BMP SYSTEM (SEE ELEVATIONS)
06	PLANTER PER DETAIL 7, 8 @ A-13.1
07	LINE OF DROP CEILING
08	LINE OF FLOOR ABOVE
09	PROVIDE 6" WIDE COPPER DRAIN IN PARAPET WALL
10	ACCESSIBLE MAILBOXES FROM AF-FLORENCE MANUFACTURING (DETAIL 17 @ A-16.6)
11	MAXIMUM 34" HIGH TABLE
12	WALL-MOUNT TOILET
13	FIRE ALARM ANNUCIATOR
E1	7/8" Exterior Plaster
E2	Sheet Metal (Dark blue Anodized)
E3	Dark Anodized Aluminum-Framed Doors and Windows
E4	Metal Reveal
E5	Min. 42"-High Railing
K1	
K2	ENERGY STAR APPLIANCES
K3	
K4	
K5	
K6	WATER HEATER TO BE LOCATED INSIDE TOP CABINET
K7	STAIR STRIPING - REFER TO FIGURE 11A-6A @ A-15.5 (PER 1123A.5 AND 1115A.5)
K8	STAIR STRIPING - REFER TO FIGURE 11A-6A @ A-15.5 (PER 1123A.5 AND 1115A.5)
S1	EXIT DOOR 1 1/2 HOUR FIRE RATED
S2	APPROVED STAIRWAY SIGN INDICATING THE FLOOR LEVEL, TERMINUS OF THE TOP AND BOTTOM OF THE STAIR AND THE IDENTIFICATION NUMBER OF THE STAIR. IT SHALL BE LOCATED APPROXIMATELY 5 FT. ABOVE THE FLOOR LANDING AND BE READILY VISIBLE WHEN THE STAIR DOORS ARE IN AN OPEN OR CLOSED POSITION. (1022.9) (REFER TO A-15.6)
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S5	HANDRAILS SHALL EXTEND A MINIMUM OF 12" BEYOND THE TOP NOSING AND 12" PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING AND ENDS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. (1120A.4.2.2 & 1120A.4.2.3)
S7	1 1/2 HR RATED ELEVATOR SMOKE CURTAIN (TYP.) ESR# AND SEE DETAILS REFER TO SHEET A-4.2"
S8	24" x 84" AMBULANCE STRETCHER CLEAR
S9	INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICE
S10	DELTA HYDRO-PASSENGER ELEVATOR (3500 LBS) - REFER TO SHEET A14.4 FOR SPECS

Symbol Legend

	Class T Standpipe (Per 905.3.1)
	Smoke Detector (Refer to Note #)
	Combined Carbon Monoxide & Smoke Detector (Refer to Note #)
	Directional Exit Sign
	Sprinkler Head
	Exterior Downspout
	Cast Iron Roof Drain and Overflow (Typ.)
	Floor Drain (Typ.)
	Drainage Behind Retaining Wall
	Electrical Vehicle Supply Equipment

WALL TYPE LEGEND

	Concrete Wall (3 Hr Fire Rated)
	8" Concrete Wall w/ Wood Furr Out (3 Hr Fire Rated)
	12" Concrete Wall w/ Wood Furr Out (3 Hr Fire Rated)
	Corridor Wall (1 Hr Fire Rated)
	Demising Wall (1 Hr Fire Rated)
	Exterior Wall - Stucco Finish (2 Hr Fire Rated)
	Interior Stud Wall
	Shaft Wall (2 Hr Fire Rated)



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PROJECT:
13267-13271 MOORPARK ST.

Revision

13267 W. MOORPARK STREET

Drawing Title
SECOND FLOOR PLAN

Scale: As

Date: 9/6/2017
Job No: Moorpark
Drawn: Author
Checked By: Checker

Drawing

A-03.2

9/11/2019 1:25:04 PM

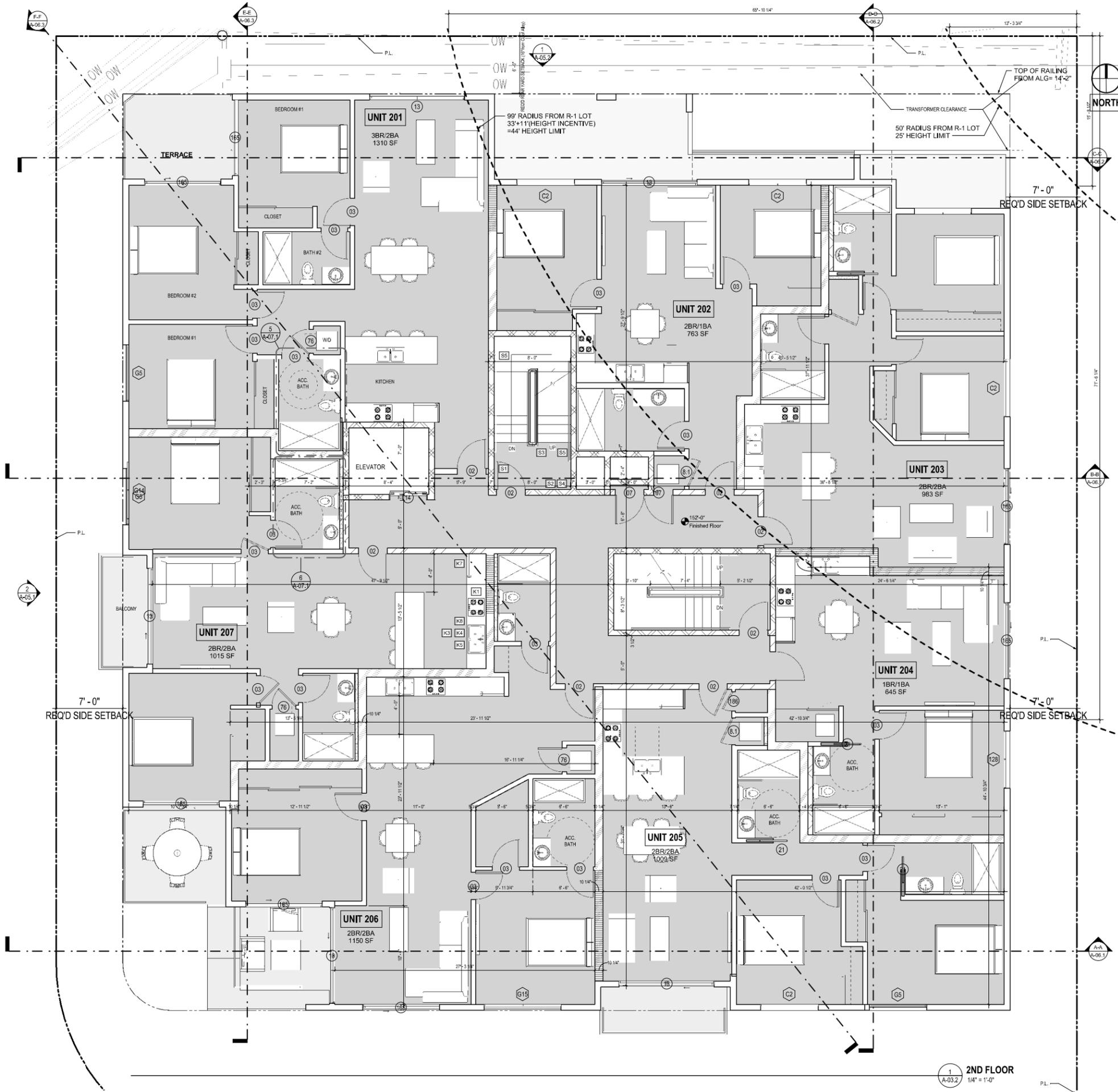
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08	LINE OF FLOOR ABOVE
09	PROVIDE 6" WIDE COPPER DRAIN IN PARAPET WALL
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11	MAXIMUM 34" HIGH TABLE
12	WALL-MOUNT TOILET
13	FIRE ALARM ANNUNCIATOR
E1	7/8" Exterior Plaster
E2	Sheet Metal (Dark blue Anodized)
E3	Dark Anodized Aluminum-Framed Doors and Windows
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K3	
K4	
K5	
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S9	INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICE
S10	DELTA HYDRO-PASSENGER ELEVATOR (3500 LBS) - REFER TO SHEET A14.4 FOR SPECS

Symbol Legend

- Class 1 Standpipe (Per 905.3.1)
- Smoke Detector (Refer to Note #)
- Combined Carbon Monoxide & Smoke Detector (Refer to Note #)
- Directional Exit Sign
- Sprinkler Head
- Exterior Downspout
- Cast Iron Roof Drain and Overflow (Typ.)
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- Interior Stud Wall
- Shaft Wall (2 Hr Fire Rated)



1
A-03.2
2ND FLOOR
1/4" = 1'-0"



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PROJECT:
13267-13271 MOORPARK ST.

Revision

13267 W. MOORPARK STREET

Drawing Title:
THIRD FLOOR PLAN

Scale: As

Date: 9/6/2017
Job No: Moorpark
Drawn: Author
Checked By: Checker

Drawing

A-03.3

9/11/2019 1:25:06 PM

Notes Floor Plan	
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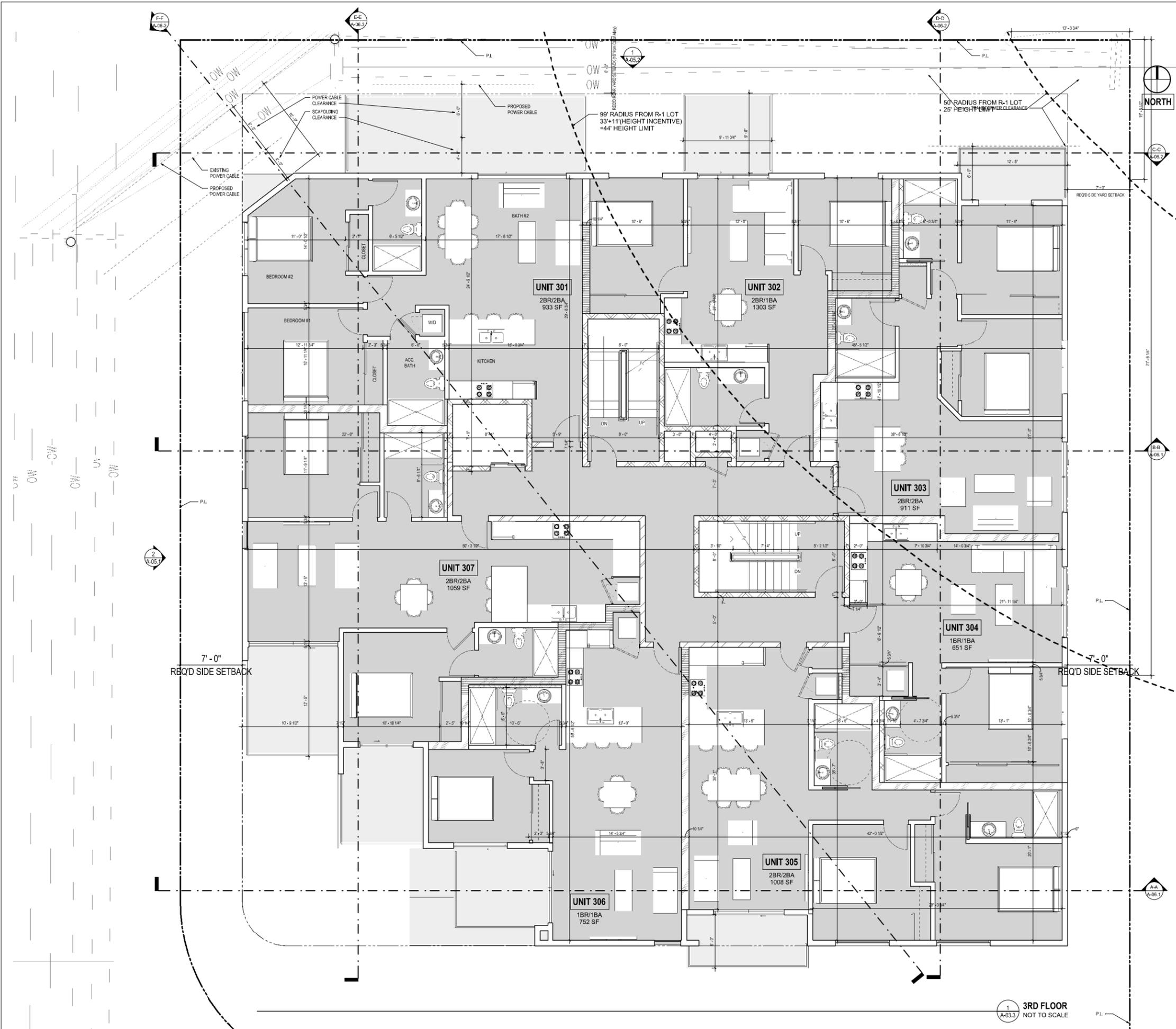
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1
A-03.3
3RD FLOOR
NOT TO SCALE



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13267-13271 MOORPARK ST.

Revision

13267 W. MOORPARK STREET

Drawing Title:
FOURTH FLOOR PLAN

Scale: As

Date: 9/6/2017
Job No: Moorpark
Drawn: Author
Checked By: Checker

Drawing

A-03.4

9/11/2019 12:51 PM

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S9	INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICE
S10	DELTA HYDRO-PASSENGER ELEVATOR (3500 LBS) - REFER TO SHEET A14.4 FOR SPECS

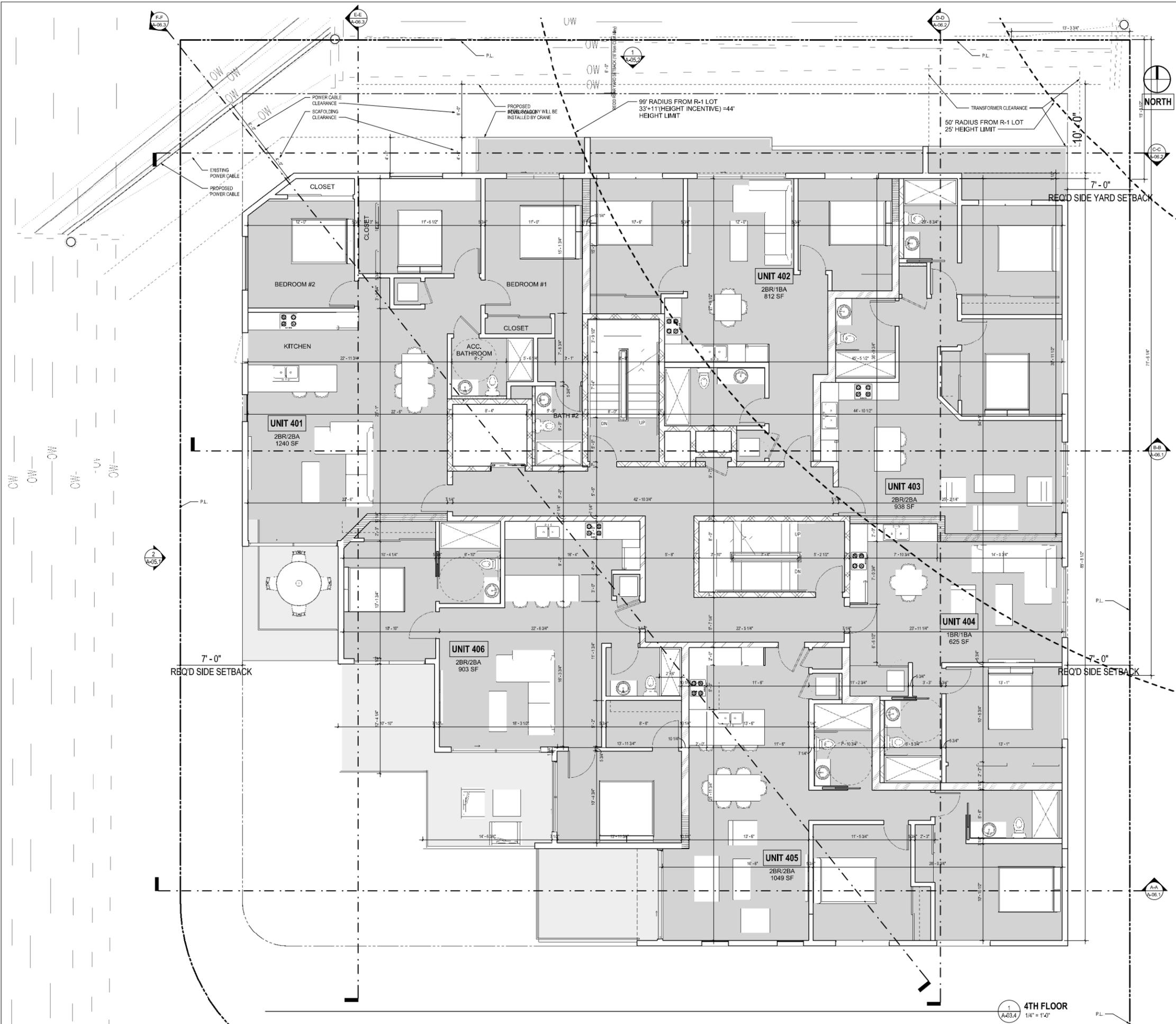
Symbol Legend

- Class T Standpipe (Per 905.3.1)
- Smoke Detector (Refer to Note #x)
- Combined Carbon Monoxide & Smoke Detector (Refer to Note #x)
- Directional Exit Sign
- Sprinkler Head
- Exterior Downspout
- Cast Iron Roof Drain and Overflow (Typ.)
- Floor Drain (Typ.)
- Drainage Behind Retaining Wall
- Electrical Vehicle Supply Equipment

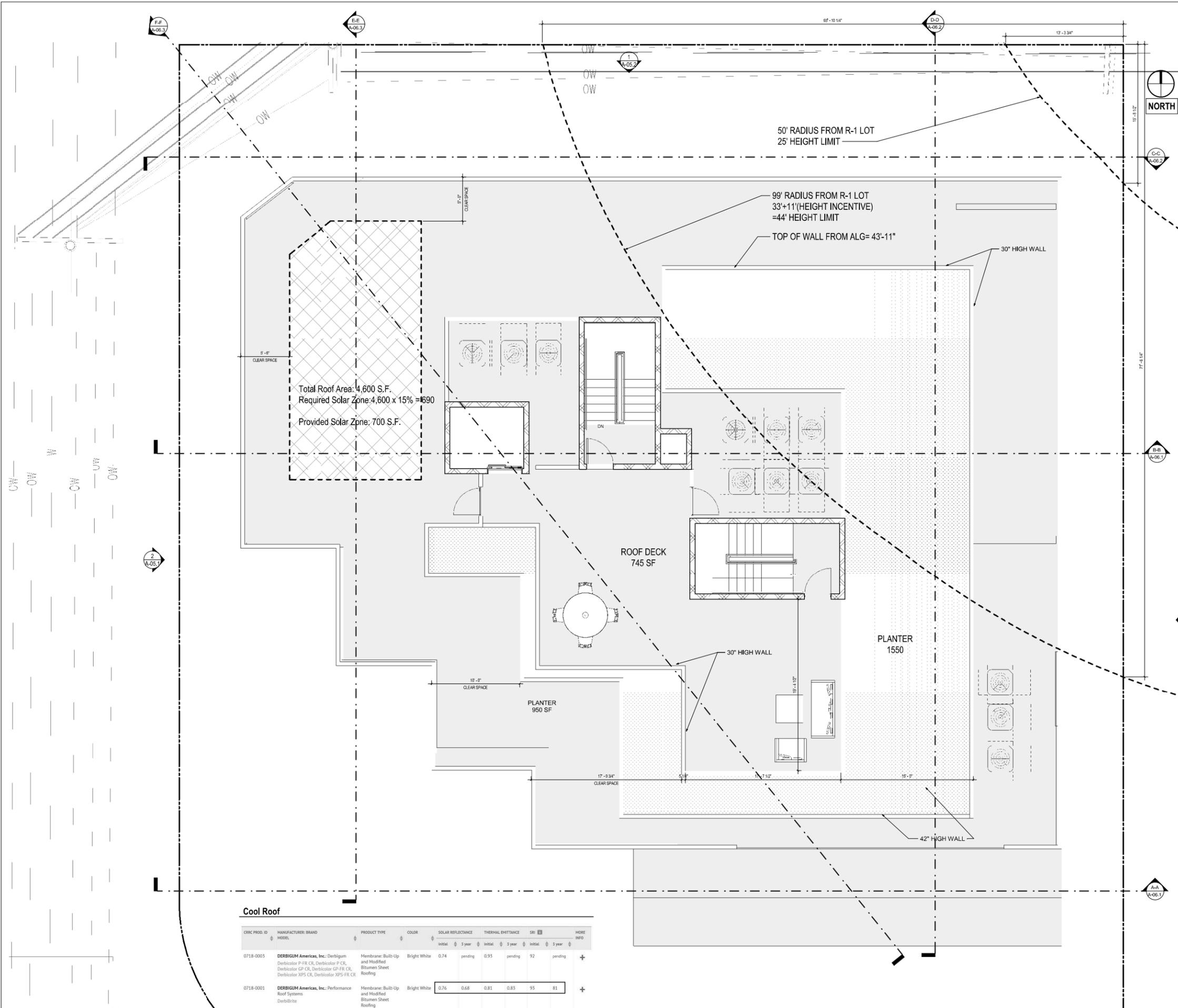
WALL TYPE LEGEND

- Concrete Wall (3 Hr Fire Rated)
- 8" Concrete Wall w/ Wood Furr Out (3 Hr Fire Rated)
- 12" Concrete Wall w/ Wood Furr Out (3 Hr Fire Rated)
- Corridor Wall (1 Hr Fire Rated)
- Demising Wall (1 Hr Fire Rated)
- Exterior Wall - Stucco Finish (2 Hr Fire Rated)
- Interior Stud Wall
- Shaft Wall (2 Hr Fire Rated)

1
A-03.4
4TH FLOOR
1/4" = 1'-0"



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Notes

- SOLAR ZONE SHALL BE FREE OF OBSTRUCTIONS AND BE SETBACK AT LEAST TWO TIMES THE HEIGHT OF ANY OBSTRUCTION, INCLUDING BUT NOT LIMITED TO, VENTS, CHIMNEYS, AND EQUIPMENT.
- ROOFING ASSEMBLY SHALL BE TESTED BY AN APPROVED TESTING AGENCY.
- ROOFING MATERIAL SHALL HAVE AN SRI VALUE OF AT LEAST 0.75 OR BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL EMITTANCE OF AT LEAST 0.75. (SEE TEST RESULTS FROM COOL ROOF RATING COUNCIL).
- BRASS, COPPER OR STAINLESS STEEL NAILS MUST BE USED FOR THE INSTALLATION OF ROOF TILES.
- WATERPROOFING AND ROOFING MATERIALS MAY BE SUBSTITUTED BY EQUAL PRODUCTS SUBJECT TO THE ARCHITECT'S REVIEW AND APPROVAL.
- ALL DOWNSPOUTS AND ROOF DRAINS TO BE DIRECTED TO BMP SYSTEM.
- ROOFS WITH SLOPES < 2:12 SHALL HAVE AN SRI VALUE OF AT LEAST 75 OR BOTH A 3-YEAR SOLAR REFLECTANCE OF AT LEAST 0.63 AND A THERMAL EMITTANCE OF AT LEAST 0.75.

ROOFING MATERIAL

BUILT-UP ROOFING SHALL BE CLASS "A" UL LISTED
"DERBIGUM AMERICAS INC." (ESR-1212)
DERIBRITE BUILT-UP AND MODIFIED BITUMEN SHEET ROOFING
SEE SHEET A-14.2 FOR INSTALLATION DETAILS AND SPECS
BUILT-UP ROOFING SHALL BE CLASS "A" UL LISTED
"DERBIGUM AMERICAS INC." (ESR-1212)
DERIBRITE BUILT-UP AND MODIFIED BITUMEN SHEET ROOFING
SEE SHEET A-14.2 FOR INSTALLATION DETAILS AND SPECS

BALCONY WATERPROOFING

EX-O-TEX WEATHERWEAR ROOF DECK COVERING
"CROSSFIELD PRODUCTS CORP." (ESR-1157)
INSTALLATION OF THE EX-O-TEX WEATHERWEAR MUST BE IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS, THE APPLICABLE CODE AND THE ICC-ES EVALUATION REPORT. (SEE A-14.2)

WALL TYPE LEGEND

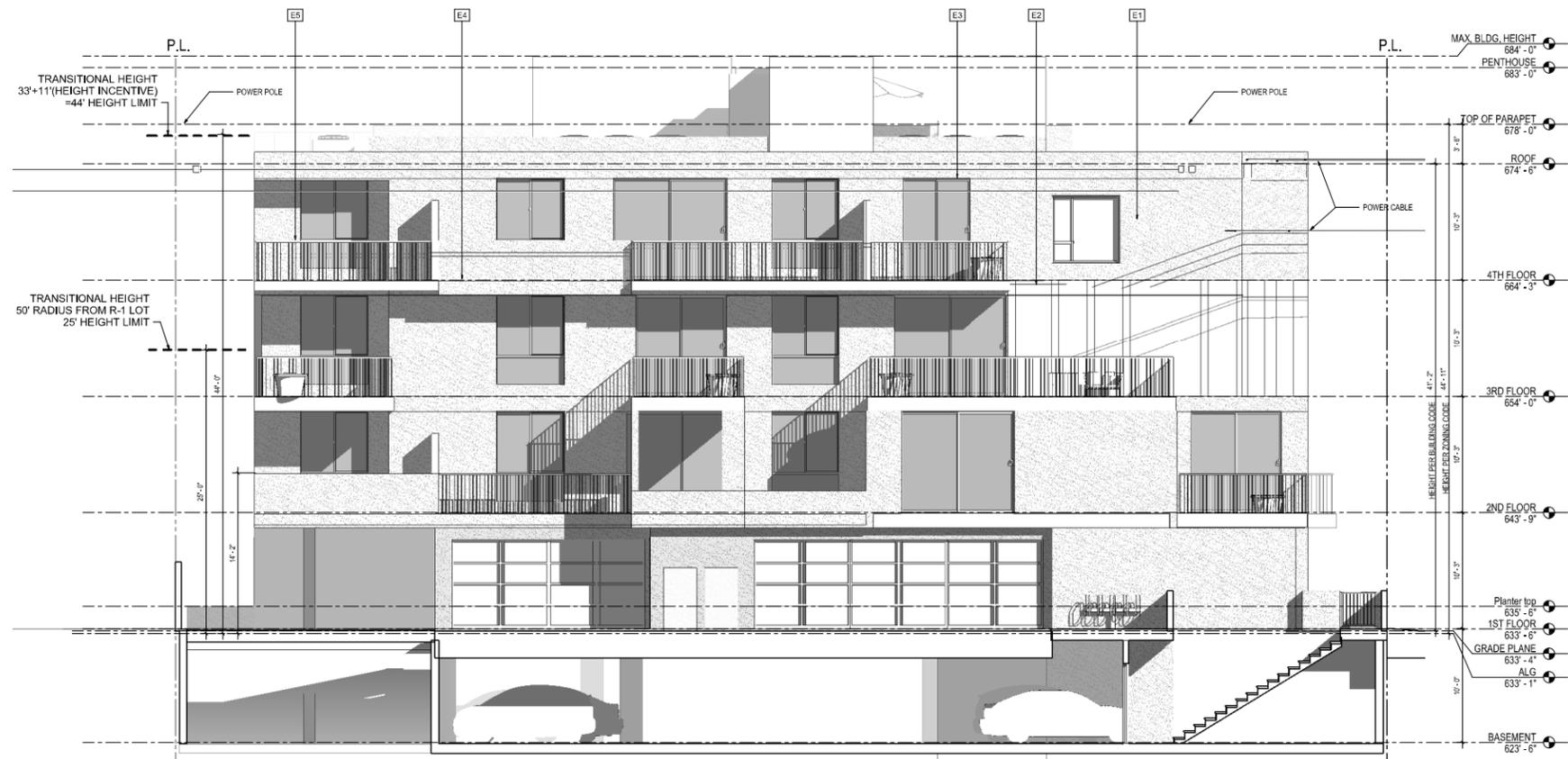
- Concrete Wall (3 Hr Fire Rated)
- 8" Concrete Wall w/ Wood Furr Out (3 Hr Fire Rated)
- 12" Concrete Wall w/ Wood Furr Out (3 Hr Fire Rated)
- Corridor Wall (1 Hr Fire Rated)
- Demising Wall (1 Hr Fire Rated)
- Exterior Wall - Stucco Finish (2 Hr Fire Rated)
- Interior Stud Wall
- Shaft Wall (2 Hr Fire Rated)

Cool Roof

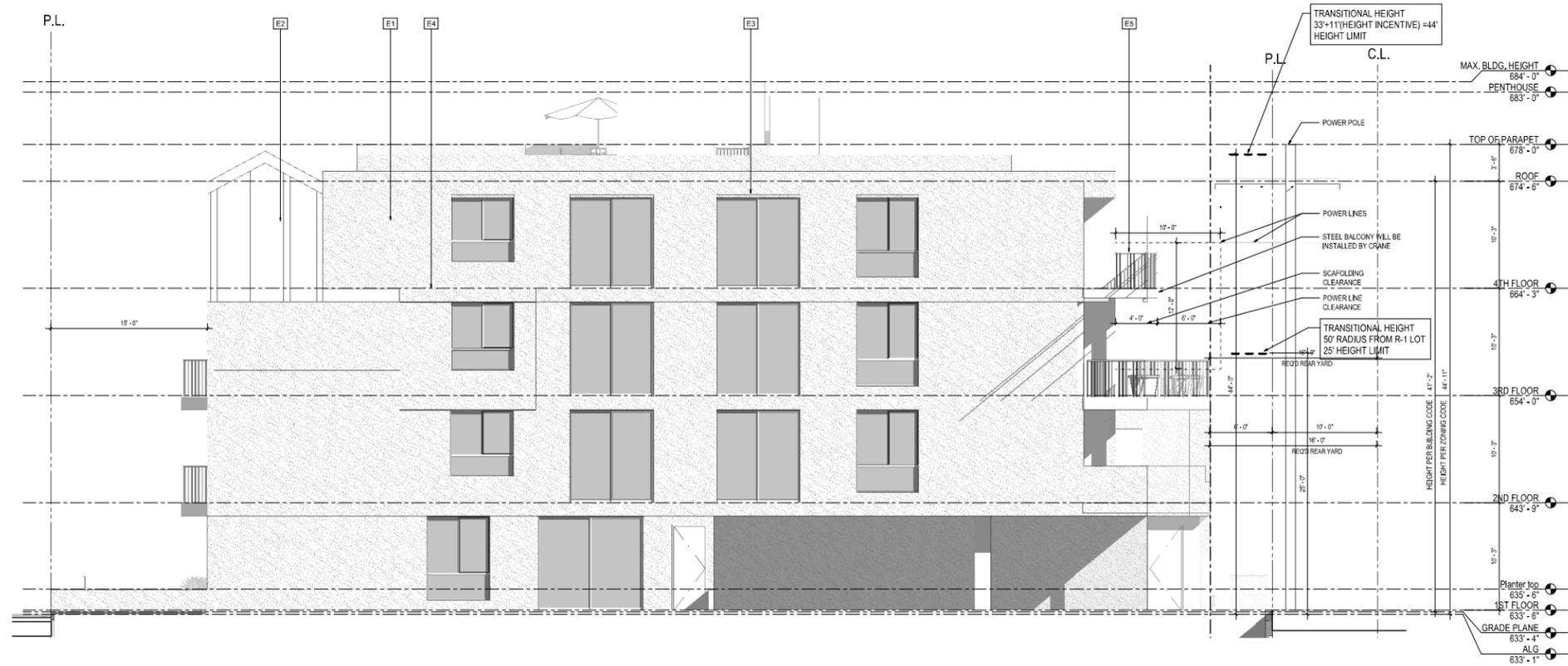
CRIC PROD. ID	MANUFACTURER: BRAND MODEL	PRODUCT TYPE	COLOR	SOLAR REFLECTANCE		THERMAL EMITTANCE		SRI		MORE INFO
				Initial	3 year	Initial	3 year	Initial	3 year	
0718-0003	DERBIGUM Americas, Inc.: Derbigum Derbicolor P-FR CR, Derbicolor P-FR CR, Derbicolor GP-FR CR, Derbicolor GP-FR CR, Derbicolor XPS-FR CR	Membrane: Built-Up and Modified Bitumen Sheet Roofing	Bright White	0.74	pending	0.93	pending	92	pending	+
0718-0001	DERBIGUM Americas, Inc.: Performance Roof Systems Derbibrite	Membrane: Built-Up and Modified Bitumen Sheet Roofing	Bright White	0.76	0.68	0.81	0.83	93	81	+

1
A-04.1
ROOF PLAN
1/4" = 1'-0"

Elevation Notes	
Note Number	Note Text
E1	7/8" Exterior Plaster
E2	Sheet Metal (Dark blue Anodized)
E3	Dark Anodized Aluminum-Framed Doors and Windows
E4	Metal Reveal
E5	Min. 42"-High Railing



1 North Elevation
A-05.2 3/16" = 1'-0"

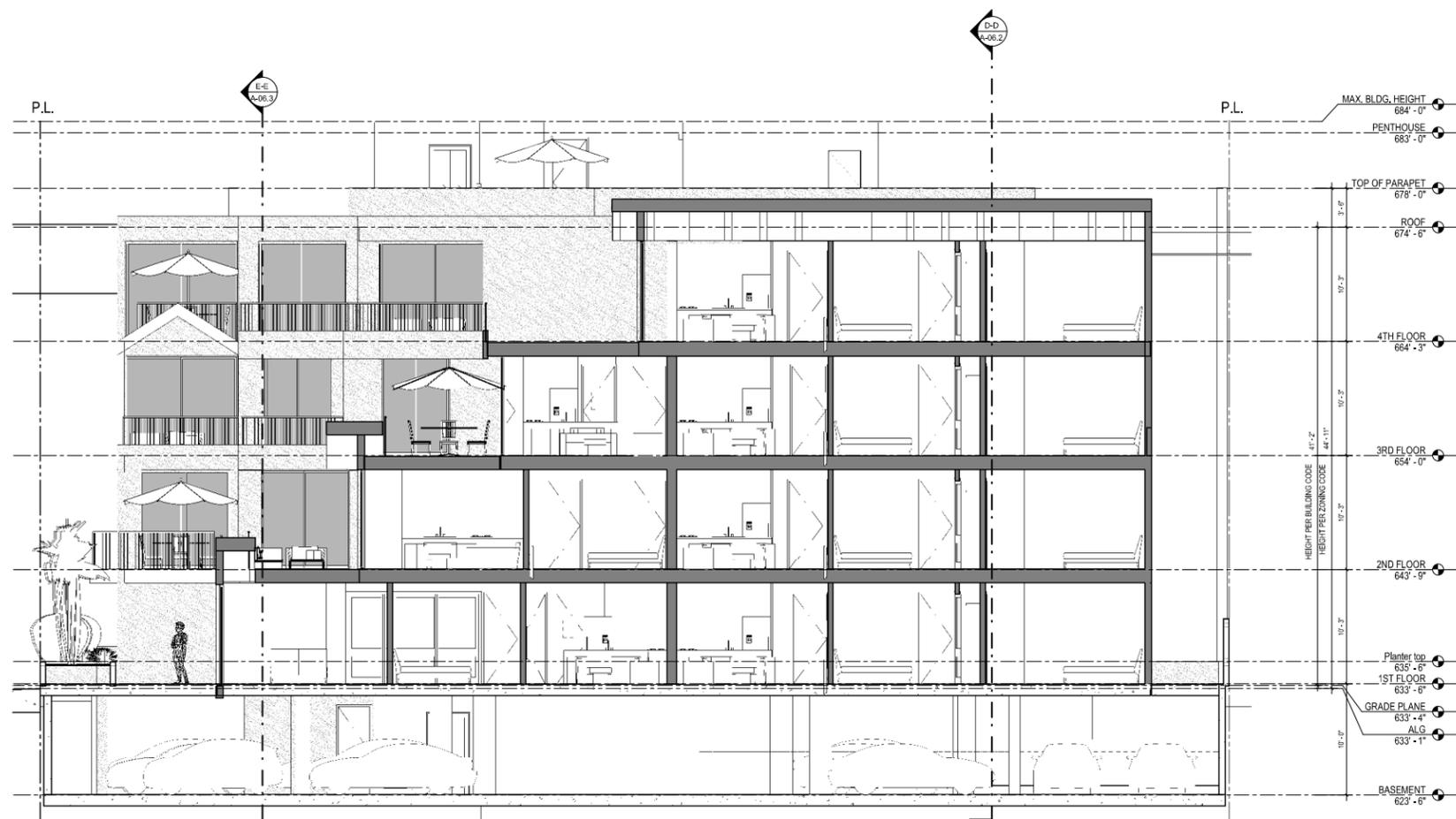


2 East Elevation
A-05.2 3/16" = 1'-0"

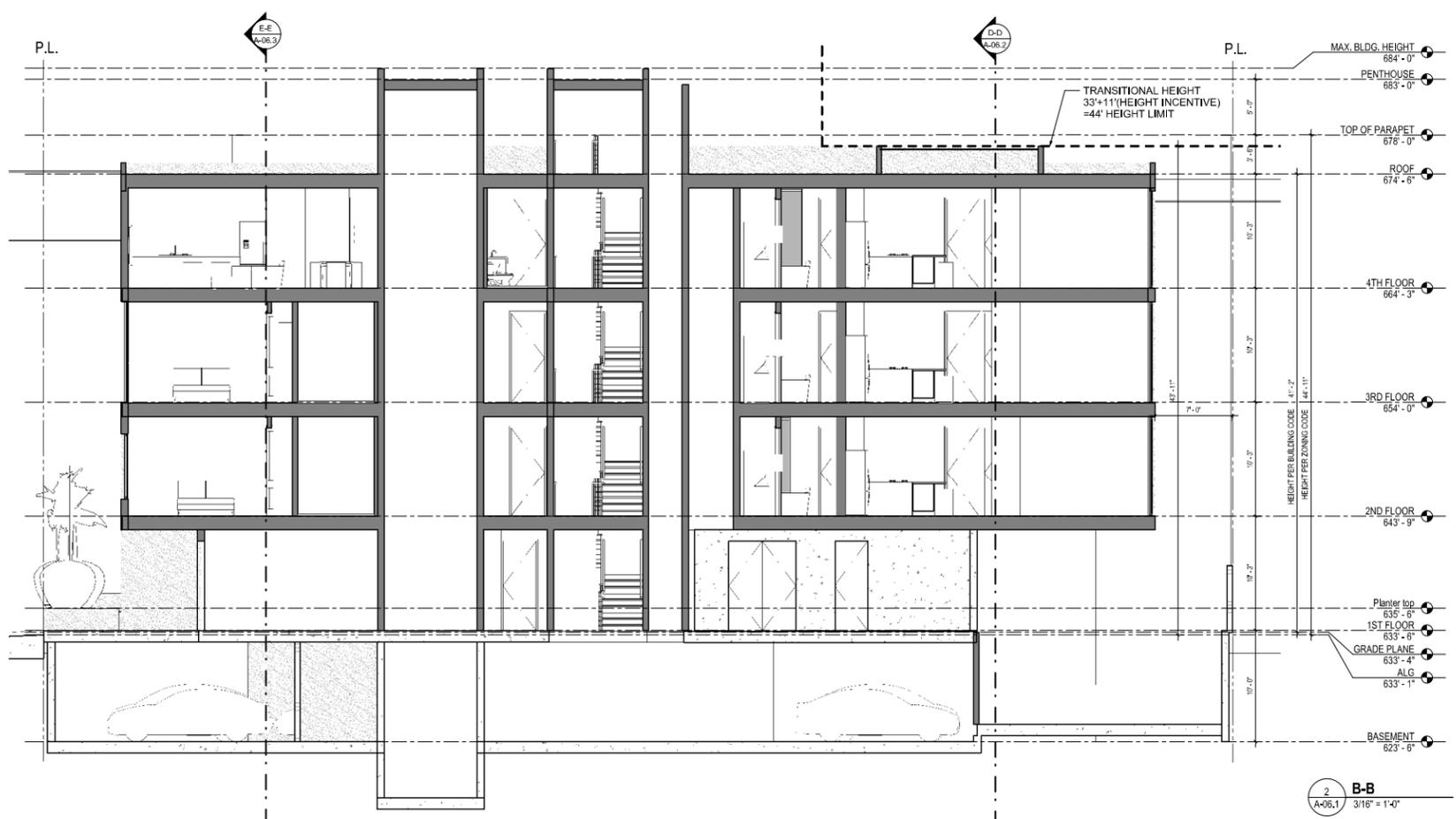
Tel:
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PROJECT:
13267-13271 MOORPARK ST.

Revision



1 A-A
A-06.1 3/16" = 1'-0"



2 B-B
A-06.1 3/16" = 1'-0"

13267 W. MOORPARK STREET

Drawing Title
Sections A-A & B-B

Scale: As
Date: 9/6/2017
Job No: Moorpark
Drawn: Author
Checked By: Checker

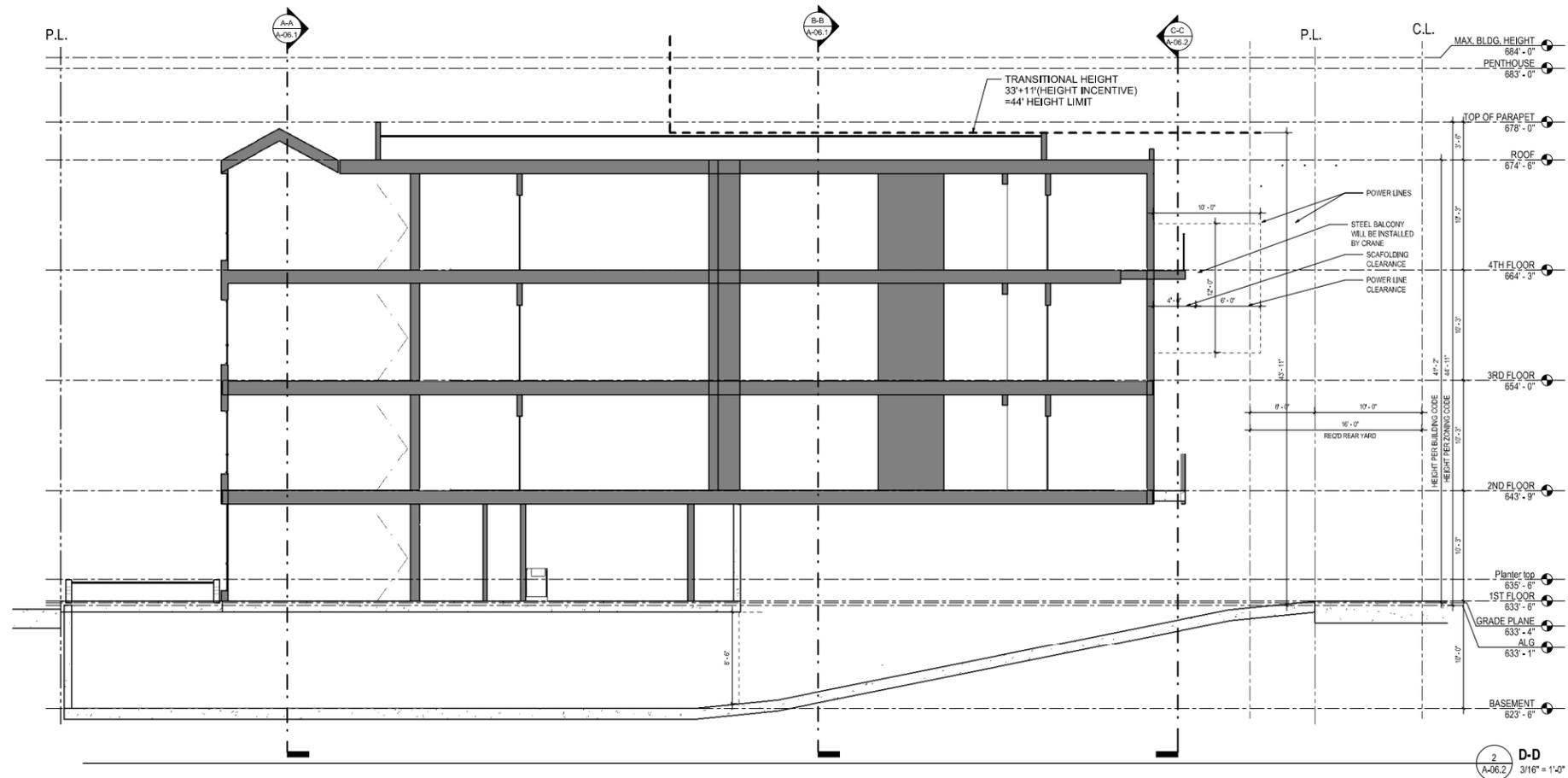
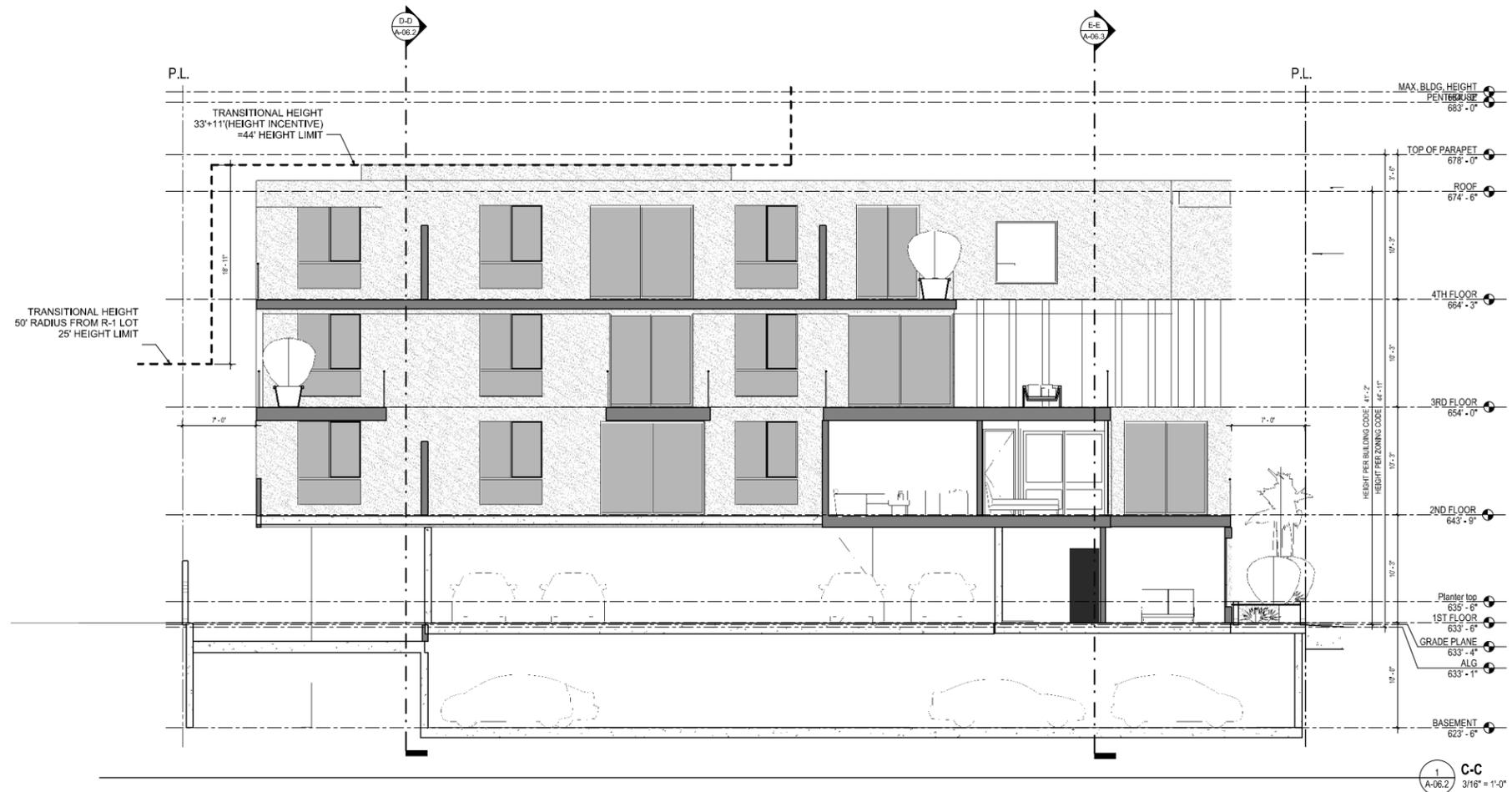
Drawing

A-06.1

Tel:
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PROJECT:
13267-13271 MOORPARK ST.

Revision



13267 W. MOORPARK STREET

Drawing Title
Sections C-C & D-D

Scale: As
Date: 9/6/2017
Job No: Moorpark
Drawn: Author
Checked By: Checker

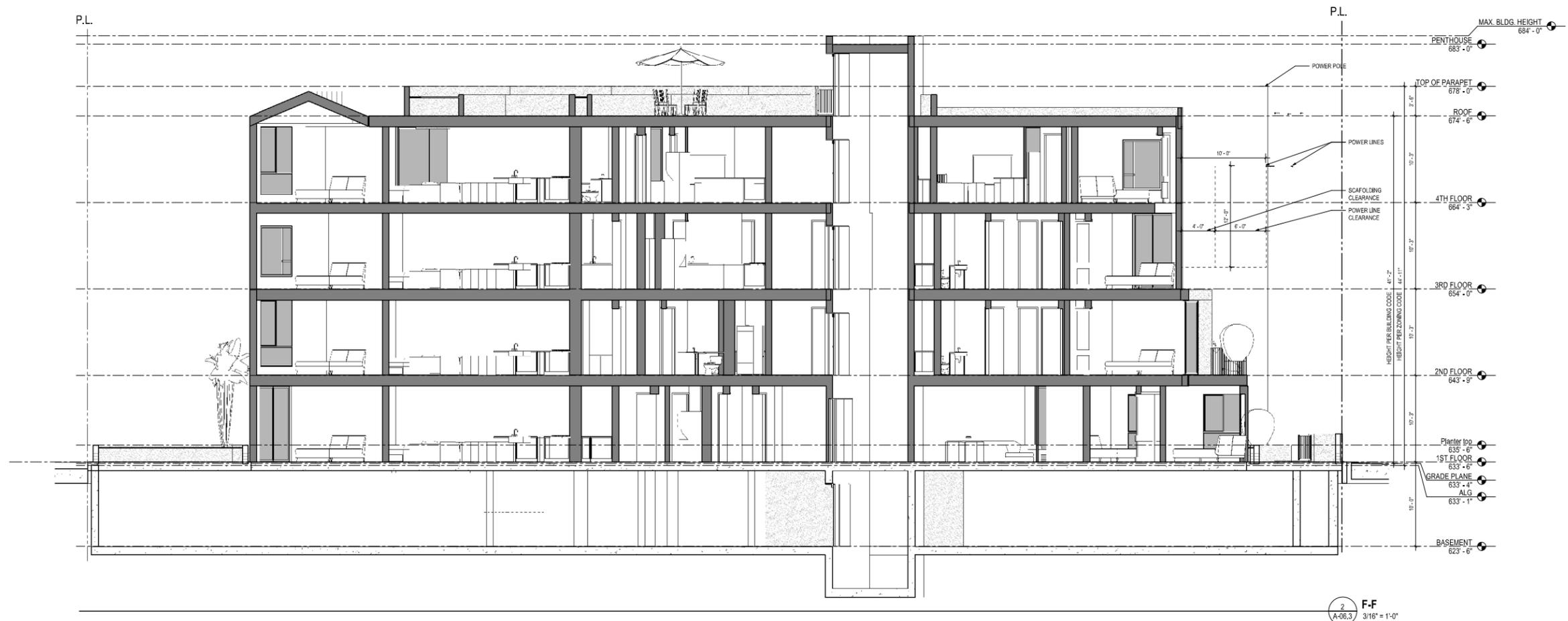
Drawing

A-06.2

Tel:
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PROJECT:
13267-13271 MOORPARK ST.

Revision



13267 W. MOORPARK STREET

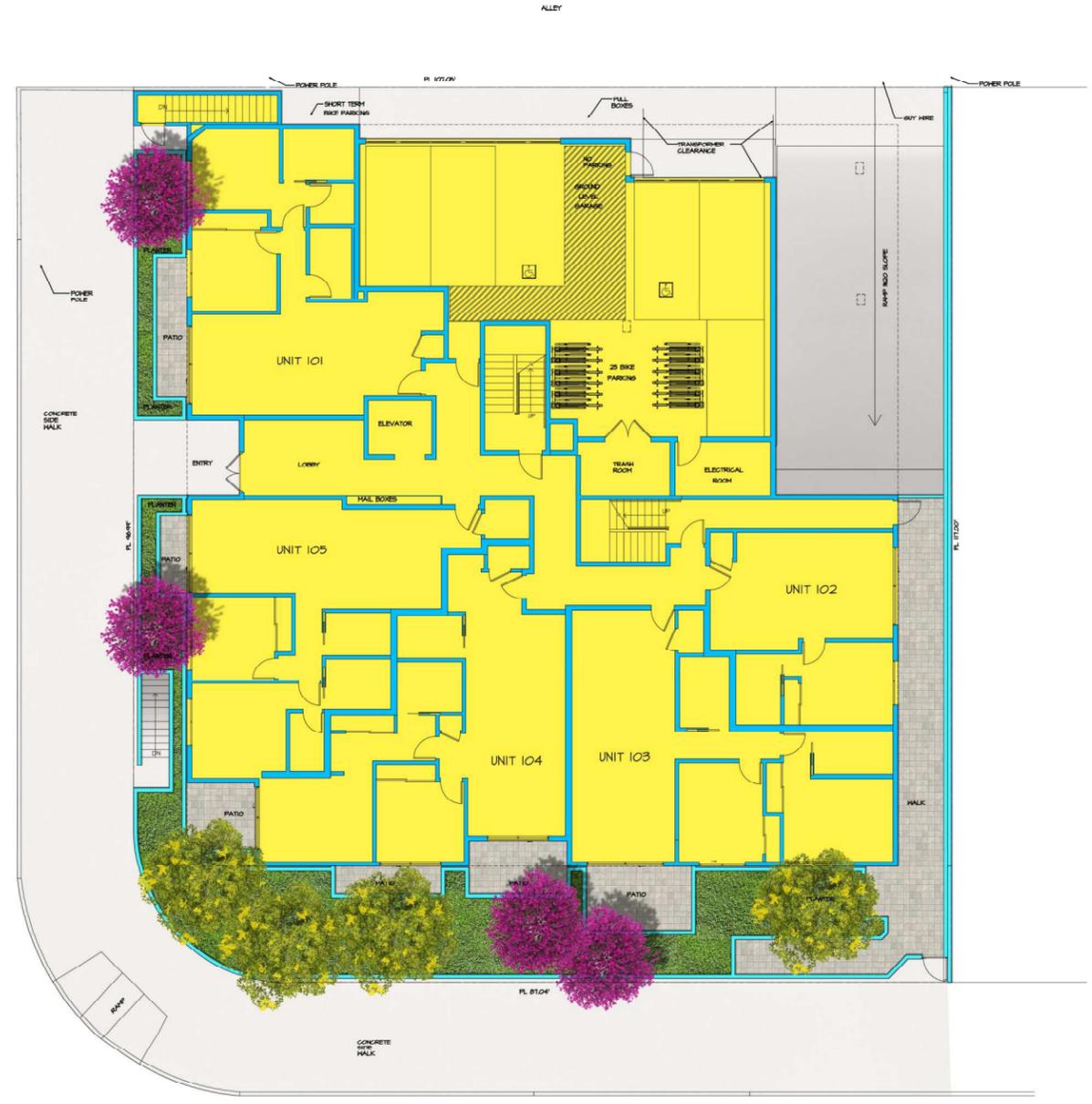
Drawing Title
Sections E-E & F-F

Scale: As
Date: 9/6/2017
Job No: Moorpark
Drawn: Author
Checked By: Checker

Drawing

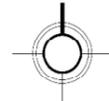
A-06.3

FULTON AVENUE



MOORPARK STREET

PRELIMINARY LANDSCAPE GROUND FLOOR
SCALE: 3/16" = 1'-0"



TREE LEGEND

SYMBOL	BOTANICAL NAME COMMON NAME SIZE / QUANTITY / LOW
	CERCIS OCCIDENTALIS - MITIGATION TREES WESTERN REDWOOD 24 INCH BOX / 8 / 12' TALL X 12' WIDE / LOW
	FREMONTODENDRON CALIFORNICUM FLANNEL BUSH 24 INCH BOX / 7 / 15' TALL X 15' WIDE / LOW

SHRUB LEGEND

SYMBOL	BOTANICAL NAME / COMMON NAME / *LACRMP SIZE @ TIME OF PLANTING and AT MATURITY SIZE / QUANTITY / MUGOLS
	ADIANTUM JORDANII / CALIFORNIA MAIDEN-HAIR FERN / *LACRMP SIZE @ PLANTING 6" T X 6" W / @ MATURITY 18" T X 18" W 1 GAL / 25 / MOD
	CLEMATIS LIGUSTICIFOLIA / VIRGIN'S BOWER / *LACRMP SIZE @ PLANTING 3" T X 2" W / @ MATURITY 18" T X 18" W 5 GAL / 15 / LOW
	DRYOPTERIS ARGUTA / HOOD FERN / *LACRMP SIZE @ PLANTING 6" T X 6" W / @ MATURITY 3" T X 3" W 1 GAL / 25 / LOW
	ENCELIA CALIFORNICA / CALIFORNIA ENCELIA / *LACRMP SIZE @ PLANTING 18" T X 18" W / @ MATURITY 4" T X 4" W 5 GAL / 20 / LOW
	ERIOPHYLLUM CONFERTIFLORUM / GOLDEN YARRAW / *LACRMP SIZE @ PLANTING 6" T X 6" W / @ MATURITY 18" T X 18" W 1 GAL / 40 / LOW
	KECKIELLA CORDIFOLIA / HEART LEAVED PENSTEMON / *LACRMP SIZE @ PLANTING 18" T X 18" W / @ MATURITY 3" T X 4" W 2 GAL / 20 / LOW
	MIMULUS CARDINALIS / SCARLET MONKEY FLOWER / *LACRMP SIZE @ PLANTING 6" T X 6" W / @ MATURITY 3" T X 3" W 1 GAL / 30 / LOW
	PENSTEMON SPECTABILIS / SHOWY PENSTEMON / *LACRMP SIZE @ PLANTING 6" T X 6" W / @ MATURITY 3" T X 3" W 1 GAL / 35 / LOW
	PRUNUS ILICIFOLIA / HOLL LEAF CHERRY / *LACRMP SIZE @ PLANTING 18" T X 18" W / @ MATURITY 4" T X 8" W 5 GAL / 25 / LOW
	RHAMNUS C. ILICIFOLIA / HOLLY LEAF REDBERRY / *LACRMP SIZE @ PLANTING 18" T X 18" W / @ MATURITY 5" T X 5" W 5 GAL / 25 / LOW
	SISTRINCHUM BELLUM / BLUE-EYED GRASS / *LACRMP SIZE @ PLANTING 4" T X 4" W / @ MATURITY 12" T X 12" W 1 GAL / 40 / LOW
	TRICHOSTEMA LANATUM / HOOLLY BLUE CURLS / *LACRMP SIZE @ PLANTING 18" T X 18" W / @ MATURITY 3" T X 3" W 3 GAL / 25 / LOW
	VENEGASIA CARPESIOIDES / CANYON SUNFLOWER / *LACRMP SIZE @ PLANTING 12" T X 12" W / @ MATURITY 3" T X 4" W 5 GAL / 45 / LOW

RIO LANDSCAPE

LANDSCAPE PROVIDED = 2500 SQ. FT. 100% OF PLANTING IS A COMBINATION OF NATIVE, WATER WISE AND LOS ANGELES COUNTY MASTER PLAN

NOTE:

POTENTIAL LANDSCAPE AREA = (SITE) 12,438 S.F. - (BUILDING) 7,054 S.F. = 4,574 S.F. LANDSCAPE PROVIDED = 1,619 S.F.

LANDSCAPE POINT SYSTEM

REQUIRED			
REFERENCE NO.	UNIT TYPE	POINTS	SQ. FEET
N/A	ENTIRE SITE	15	12,438
TOTAL REQUIRED: 15			
PROVIDED			
A	15 TREE TAXON THAT DO NOT EXIST IN 1000 FT. RADIUS 5 FTS PER TREE UP TO 50% OF POINTS	7.5	N/A
C	USE OF 100% CAL. NATIVE PLANTS THROUGHOUT PROJECT	7.5	N/A
TOTAL PROVIDED: 15			

WATER MANAGEMENT POINT SYSTEM

REQUIRED			
REFERENCE NO.	UNIT TYPE	POINTS	SQ. FEET
N/A	ENTIRE SITE	300	12,438
TOTAL REQUIRED: 300			
PROVIDED			
N/A	AUTOMATIC CONTROLLERS	5	N/A
C	PLANTS ONCE ESTABLISHED THAT WILL REMAIN IN GOOD HEALTH WITH SUMMER WATER 3" @ X 2 PTS.	796	N/A
TOTAL PROVIDED: 801			

OPEN SPACE TABULATION

REQUIRED			
UNIT TYPE	QUANTITY	RATIO / DU	SQ. FEET
1 HABITABLE RM	5	100 SQ. FT.	500 SQ. FT.
2 HABITABLE RM	15	125 SQ. FT.	2,250 SQ. FT.
3 HABITABLE RM	2	350 SQ. FT.	700 SQ. FT.
TOTAL REQUIRED: 3,100 SQ. FT.			
PROVIDED			
UNIT TYPE	QUANTITY	RATIO / DU	SQ. FEET
ROOF DECK 1	-	-	2900 SQ. FT.
BALCONY	17	50	850 SQ. FT.
TOTAL REQUIRED / PROVIDED: 3,150 SQ. FT.			

GROUNDCOVER LEGEND

SYMBOL	BOTANICAL NAME / MUGOLS COMMON NAME SIZE / QUANTITY / MUGOLS
	MULCH 3" LAYER

TREE NOTES:

1 TREE REQUIRED FOR EVERY (4) FOUR UNITS. 25 UNITS = 6 - 24 INCH BOX TREES REQUIRED. 15 - 24 INCH BOX TREES PROVIDED.
1 - 24 INCH BOX TREE REQUIRED FOR EVERY 500 SQ. FT. OF FRONT YARD LANDSCAPE. 1,044 SQ. FT. OF LANDSCAPE PROVIDED = 2 - 24 INCH BOX TREES REQUIRED. (6) SIX - 24 INCH BOX TREES PROVIDED.



Susan E. McEowen
LANDSCAPE ARCHITECT

Susan E. McEowen
Landscape Architect 2180
A California Corporation
19197 Golden Valley Road, #924
Santa Clarita, CA 91387
Office: (661) 212-3335
Email: susan@landerch.us

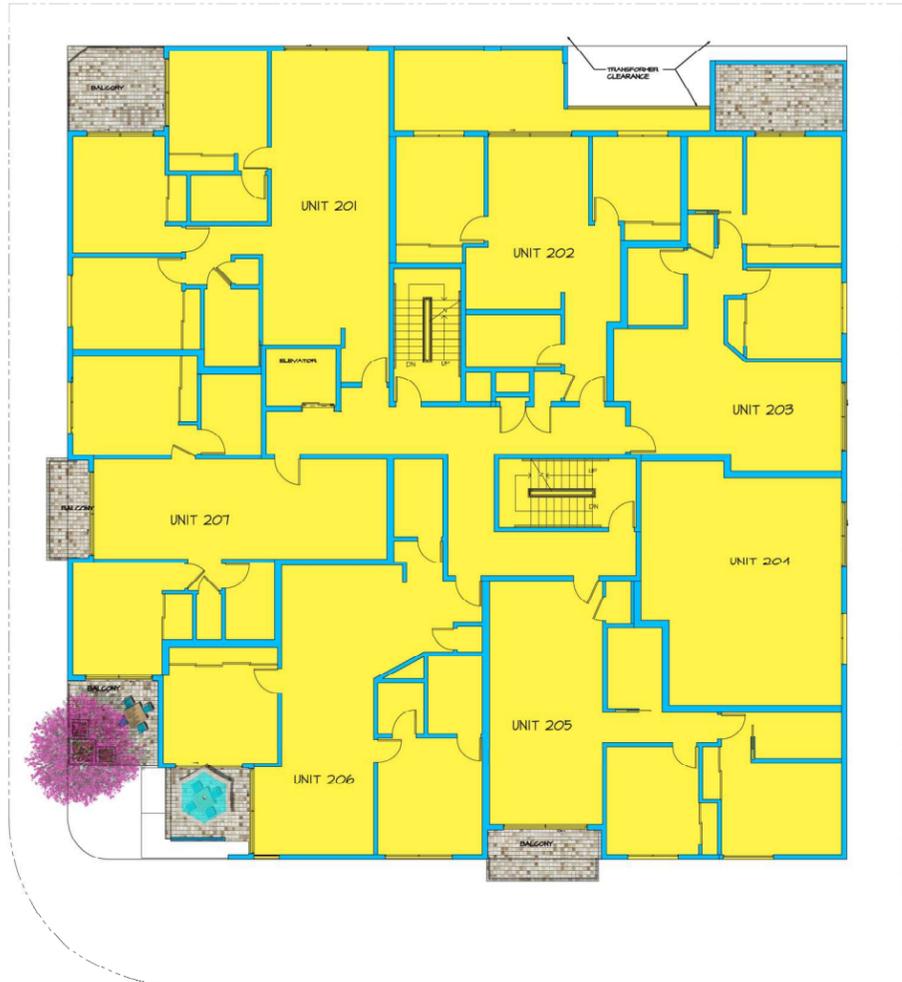
NEW APARTMENT BUILDING
13267-13271 W. MOORPARK STREET
LOS ANGELES, CA. 91423

I&L INVESTMENTS and MANAGEMENT, INC
9201 WILSHIRE BOULEVARD, SUITE 202
BEVERLY HILLS, CA. 90210

2019-6-25
DATE

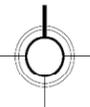
L-P1
PAGE

Drawing No. 14060011
 Date: 06/20/19
 Project: New Apartment Building
 Location: 13267-13271 W. Moorpark Street, Los Angeles, CA
 Prepared by: Susan E. McEowen
 Checked by: Susan E. McEowen
 Approved by: Susan E. McEowen
 Title: Landscape Architect



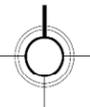
PRELIMINARY LANDSCAPE 2nd FLOOR BALCONY

SCALE: 3/16" = 1'-0"



PRELIMINARY LANDSCAPE 3rd FLOOR BALCONY

SCALE: 3/16" = 1'-0"



Susan E. McEowen
LANDSCAPE ARCHITECT

Susan E. McEowen
Landscape Architect 2180
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Santa Clarita, CA 91387
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NEW APARTMENT BUILDING

13267-13271 W. MOORPARK STREET
LOS ANGELES, CA. 91423

I&L INVESTMENTS and MANAGEMENT, INC

9201 WILSHIRE BOULEVARD, SUITE 202
BEVERLY HILLS, CA. 90210

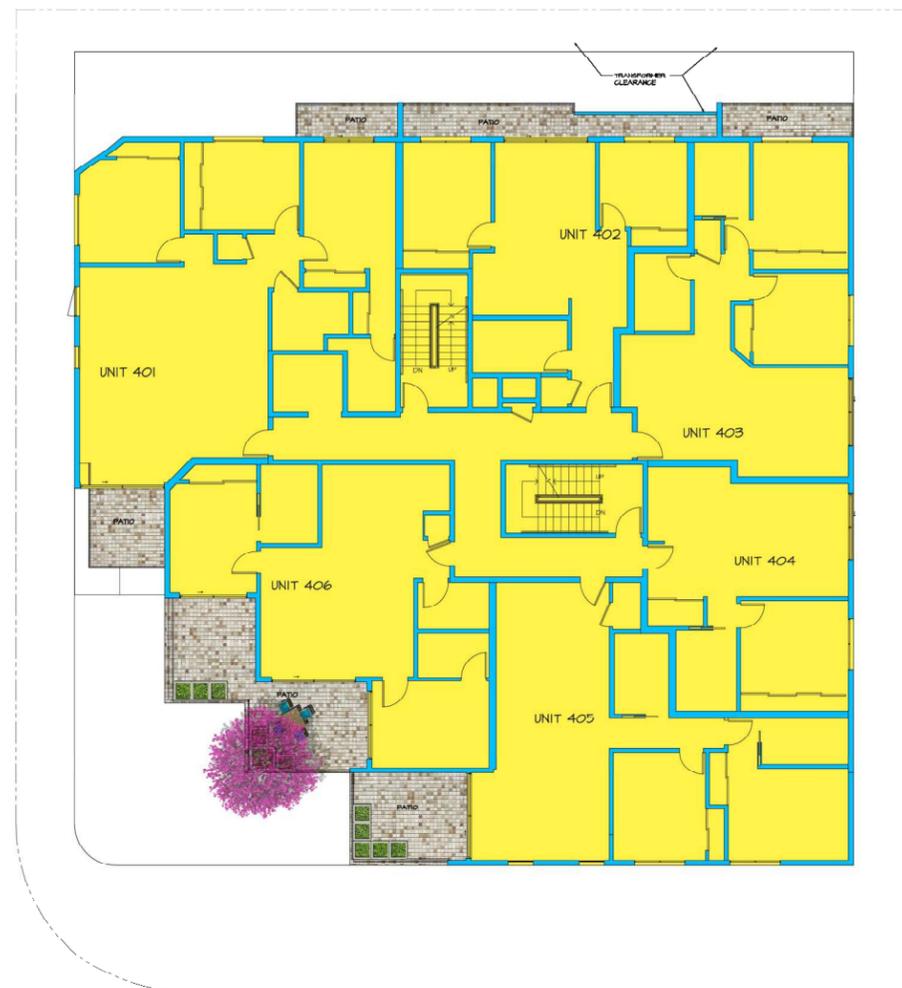
2019-6-25

DATE

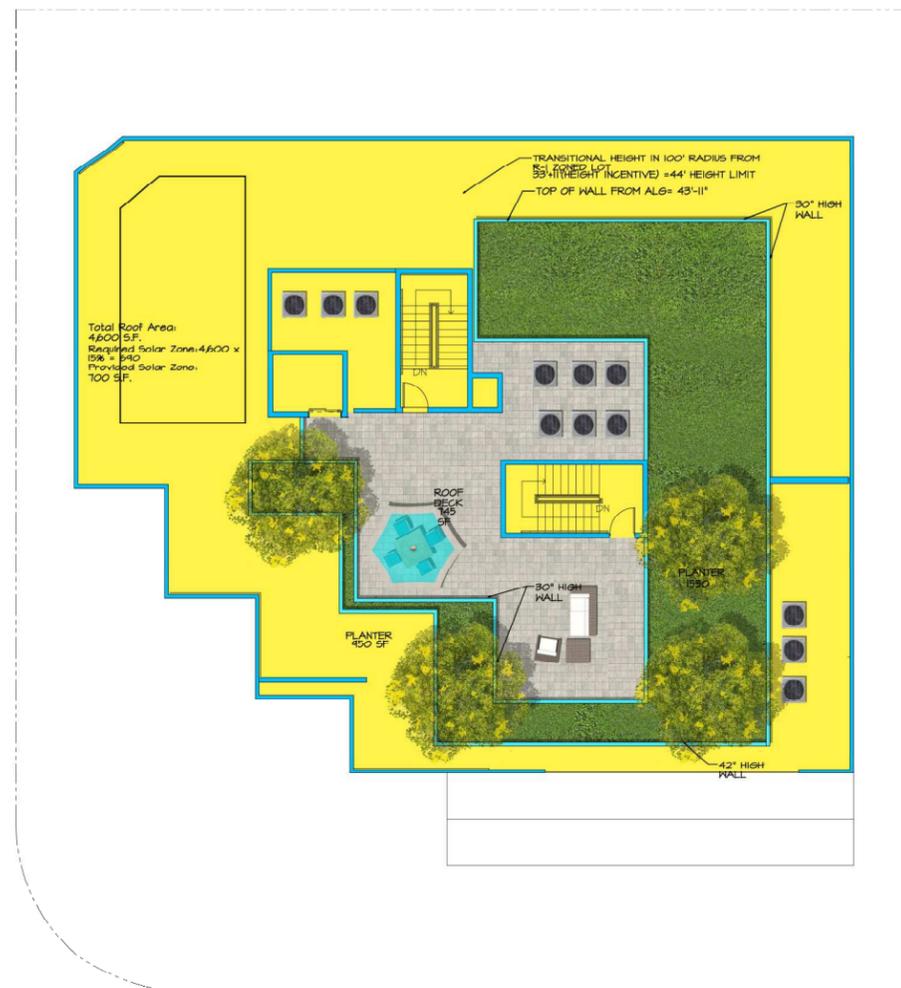
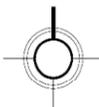
L-P2

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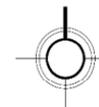
2019-06-25
 Susan E. McEowen, Landscape Architect 2180
 A California Corporation
 19197 Golden Valley Road, #924
 Santa Clarita, CA 91387
 Office: (661) 212-3335
 Email: susan@landarch.us



PRELIMINARY LANDSCAPE 4th FLOOR
SCALE: 3/16" = 1'-0"



PRELIMINARY LANDSCAPE ROOF DECK
SCALE: 3/16" = 1'-0"



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NEW APARTMENT BUILDING

13267-13271 W. MOORPARK STREET
LOS ANGELES, CA. 91423

I&L INVESTMENTS and MANAGEMENT, INC

9201 WILSHIRE BOULEVARD, SUITE 202
BEVERLY HILLS, CA. 90210

2019-6-25

DATE

L-P3

PAGE

Project No: 18000011
 Drawing No: 001
 Drawing Title: PRELIMINARY LANDSCAPE ROOF DECK
 Drawing Date: 2019-06-25
 Drawing Scale: 3/16" = 1'-0"
 Drawing Author: SUSAN E. MCEOWEN
 Drawing Checker: SUSAN E. MCEOWEN
 Drawing Approver: SUSAN E. MCEOWEN



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number _____

Env. Case Number _____

Application Type _____

Case Filed With (Print Name) _____ Date Filed _____

Application includes letter requesting:

- Waived hearing
- Concurrent hearing
- Hearing not be scheduled on a specific date (e.g. vacation hold)

Related Case Number _____

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.

All terms in this document are applicable to the singular as well as the plural forms of such terms.

Detailed filing instructions are found on form CP-7810

1. PROJECT LOCATION

Street Address¹ _____ Unit/Space Number _____

Legal Description² (Lot, Block, Tract) _____

Assessor Parcel Number _____ Total Lot Area _____

2. PROJECT DESCRIPTION

Present Use _____

Proposed Use _____

Project Name (if applicable) _____

Describe in detail the characteristics, scope and/or operation of the proposed project _____

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e. vacant)
- Site is located within 500 feet of a freeway or railroad
- Site has existing buildings (provide copies of building permits)
- Site is located within 500 feet of a sensitive use (e.g. school, park)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)

² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)

Site has special designation (e.g. National Historic Register, Survey LA)

Proposed Project Information

(Check all that apply or could apply)

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree

- Removal of protected trees on site or in the public right of way
- New construction: _____ square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing _____ - Demolish(ed)³ _____ + Adding _____ = Total _____

Number of Affordable Units⁴ Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Number of Market Rate Units Existing _____ - Demolish(ed) _____ + Adding _____ = Total _____

Mixed Use Projects, Amount of Non-Residential Floor Area: _____ square feet

Public Right-of-Way Information

Have you submitted the Planning Case Referral Form to BOE? (required) YES NO

Is your project required to dedicate land to the public right-of-way? YES NO

If so, what is/are your dedication requirement(s)? _____ ft.

If you have dedication requirements on multiple streets, please indicate: _____

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Authorizing Code Section _____

Code Section from which relief is requested (if any): _____

Action Requested, Narrative: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) _____

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____ Ordinance No.: _____

- Condition compliance review
- Clarification of Q (Qualified) classification
- Modification of conditions
- Clarification of D (Development Limitations) classification
- Revision of approved plans
- Amendment to T (Tentative) classification
- Renewal of entitlement
- Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. RELATED DOCUMENTS / REFERRALS

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide a copy of any applicable form and reference number if known.

- a. Specialized Requirement Form _____
- b. Geographic Project Planning Referral _____
- c. Citywide Urban Design Guidelines Checklist _____
- d. Affordable Housing Referral Form _____
- e. Mello Form _____
- f. Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form _____
- g. HPOZ Authorization Form _____
- h. Management Team Authorization _____
- i. Expedite Fee Agreement _____
- j. Department of Transportation (DOT) Referral Form _____
- k. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF) _____
- l. Order to Comply _____
- m. Building Permits and Certificates of Occupancy _____
- n. Hillside Referral Form _____
- o. Low Impact Development (LID) Referral Form (Storm water Mitigation) _____
- p. Proof of Filing with the Housing and Community Investment Department _____
- q. Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant

Name (if different from applicant) _____

Address _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Agent/Representative name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip: _____

Telephone _____ E-mail: _____

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____

Name _____

Company/Firm _____

Address: _____ Unit/Space Number _____

City _____ State _____ Zip Code: _____

Telephone _____ E-mail: _____

Primary Contact for Project Information Owner Applicant
(*select only one*) Agent/Representative Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

PROPERTY OWNER

7. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service of process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- d. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date 5/10/19

Print Name Ilan Gorodezki

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

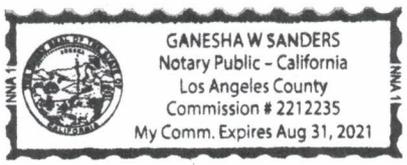
On May 10, 2019 before me, Ganesh W Sanders
(Insert Name of Notary Public and Title)

personally appeared Ilan Gorodezki, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

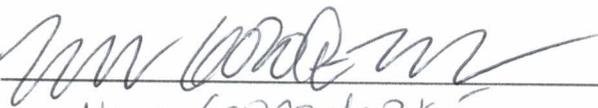
Ganesh W Sanders (Seal)
Signature



APPLICANT

8. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - e. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: 
Print Name: Jan Gorodezki

Date: 5/10/19

OPTIONAL
NEIGHBORHOOD CONTACT SHEET

9. **SIGNATURES** of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).