



- [Home \(http://mistralrestaurant.com/\)](http://mistralrestaurant.com/)
- [Menus \(http://mistralrestaurant.com/menus/\)](http://mistralrestaurant.com/menus/)
- [About Mistral \(http://mistralrestaurant.com/about/about-mistral/\)](http://mistralrestaurant.com/about/about-mistral/)
- [News & Events \(http://mistralrestaurant.com/news/\)](http://mistralrestaurant.com/news/)
- [Reservations \(http://mistralrestaurant.com/reservations/\)](http://mistralrestaurant.com/reservations/)
- [Contact Us \(http://mistralrestaurant.com/contact/\)](http://mistralrestaurant.com/contact/)

<http://mistralrestaurant.com>

MORE MENUS 

Dinner Menu

Corkage Fee: \$25 per bottle

### MAIN

Onion Soup **\$12.00**

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House Cured King Salmon **\$19.50**

Dill-Mustard Sauce, Cucumber Rounds, Toast Points

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Spicy Moroccan Cigars, Greek Yogurt with Fresh Mint **\$14.50**

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Salad of Mixed Greens **\$16.50**

"Point Reyes" Blue Cheese and Roasted Walnuts

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Arugula Salad **\$17.50**

Escargots A La Bourguignonne **\$18.50**

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Spicy Shrimp "Al Ajillo" **\$18.50**

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Tartare of Ahi Tuna with Toast Points **\$18.50**

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Salad of Mixed Greens with Warm Goat Cheese Croutons **\$16.50**

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Classic Caesar Salad **\$14.50**

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#### Reservations

##### Date

02/08/2018

##### Time

7:00 pm

7:00 pm



- 12:00 am
- 12:15 am
- 12:30 am
- 12:45 am
- 1:00 am
- 1:15 am
- 1:30 am
- 1:45 am
- 2:00 am
- 2:15 am
- 2:30 am
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- 3:30 am
- 3:45 am
- 4:00 am
- 4:15 am
- 4:30 am
- 4:45 am
- 5:00 am
- 5:15 am

Asparagus, Artichoke, Sweet Corn & Parmesan Shavings

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**Linguine** **\$32.00**

sauteed shrimp and calamari, Chili Flakes, Parsley & Olive Oil

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**Grilled Wild Salmon** **\$37.00**

Tomatoes, Garlic and Sweet Basil, Mashed Potatoes, Garlic Spinach

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**Chicken Mistral** **\$33.00**

Free Range Chicken, Roasted Garlic Cloves and Rosemary

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**Angel Hair Pasta** **\$22.00**

Diced Tomato, Garlic, Basil and Olive Oil

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**Panko Crusted Ahi Tuna** **\$37.00**

Light Dijon Mustard Sauce, Mixed Rice, Sautéed Green Beans, Zucchini and Cauliflower

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**Free Range Chicken** **\$33.00**

Herbs and Dijon Mustard Sauce

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**Lamb Chops** **\$44.00**

Grilled, Garlic, Parsley and Bread Crumbs

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## STEAKS

All New York Steaks are Served with Green Salad and French Fries

**New York Steak, "Tartare"** **\$36.95**

**New York Steak, Sliced Garlic, Parsley and Butter** **\$52.95**

14oz. USDA Prime

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**New York Steak, "Au Poivre"** **\$52.95**

14oz. USDA Prime

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**New York Steak, "Echalottes"** **\$52.95**

14oz. USDA Prime

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## SIDE ORDERS

- 5:30 am
- 5:45 am
- 6:00 am
- 6:15 am
- 6:30 am
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- 4:00 pm
- 4:15 pm

\$8

### French Fries

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### Sautéed Brussels sprout

with Shallots & Bacon

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### Garlic Spinach

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Powered by  singleplatform | Owner verified

**Disclaimer:** Pricing and availability subject to change.

- 4:30 pm
- 4:45 pm
- 5:00 pm
- 5:15 pm
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- 10:30 pm
- 10:45 pm
- 11:00 pm
- 11:15 pm
- 11:30 pm
- 11:45 pm

### Party Size

0



• 1

• 0

Find a Table

Powered By:

### Dining Room Hours

Lunch: **Monday-Friday** 11:30am - 2:30pm

Dinner: **Monday-Thursday** 5:30pm - 10:00pm

**Friday & Saturday:** 5:30pm- 10:30pm

**Sunday:** 5:00pm - 9:00pm



Facebook

<https://www.facebook.com/mistralshermanoaks>

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(<https://gifts.opentable.com/Mistral-2?ref=1>)

*The thoughtful gift of a great dining experience is cherished by all*  
Share the Mistral dining experience with your colleagues, family and friends; and we'll ensure rave reviews

### Recent Awards



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BOOK NOW

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<https://www.zagat.com/r/mistral->



**French**

Los Angeles



**Best Food**

San Fernando Valley / Valencia



**Romantic**

San Fernando Valley / Valencia



**Best Service**

San Fernando Valley / Valencia



**Best Overall**

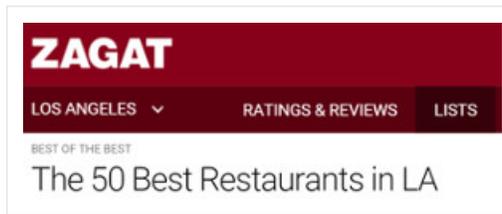
San Fernando Valley / Valencia



**Best Value**

San Fernando Valley / Valencia

<https://www.opentable.com/mistral-sherman-oaks?covers=2&dateTime=2017-02-12%2019%3A00#reviews>



<https://www.zagat.com/l/los-angeles/restaurants-with-the-best-food-in-la>

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STATE OF CALIFORNIA  
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL  
ALCOHOLIC BEVERAGE LICENSE  
ON-SALE GENERAL EATING PLACE

VALID FROM

Jun 01, 2017

MARTIGUES CORPORATION  
13422 VENTURA BLVD  
SHERMAN OAKS, CA 91423

EXPIRES

May 31, 2018

TYPE NUMBER DUP

47 207205

AREA CODE

1933 05

BUSINESS ADDRESS DBA: MISTRAL  
(IF DIFFERENT)

RENEWAL

CONDITIONS

OWNERS: MARTIGUES CORPORATION



STATE OF CALIFORNIA  
DEPARTMENT OF ALCOHOLIC BEVERAGE CONTROL  
ALCOHOLIC BEVERAGE LICENSE  
CATERER PERMIT

VALID FROM

Jun 01, 2017

MARTIGUES CORPORATION  
13422 VENTURA BLVD  
SHERMAN OAKS, CA 91423

EXPIRES

May 31, 2018

TYPE NUMBER DUP

58 207205 1

AREA CODE

1933 05

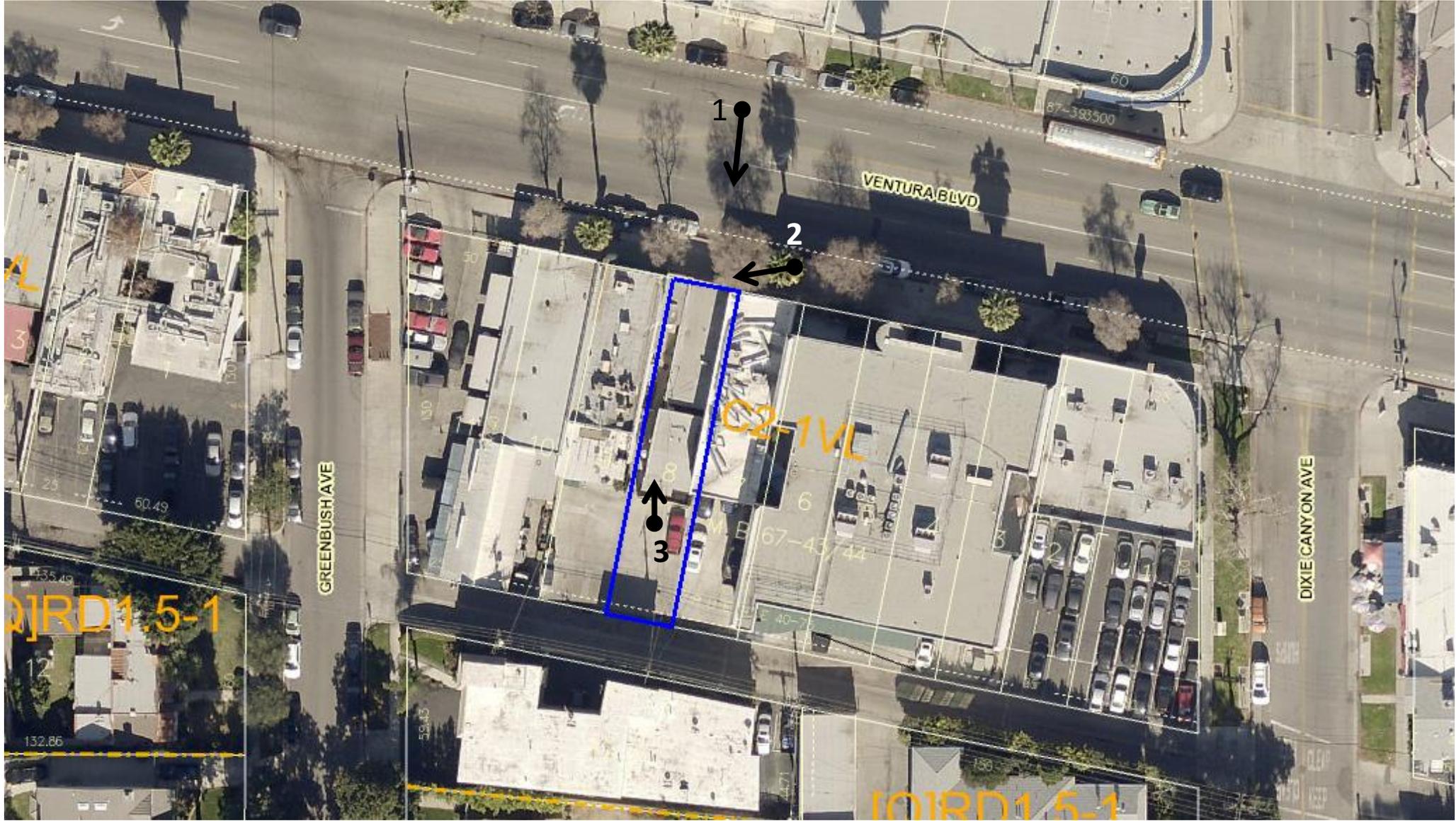
BUSINESS ADDRESS DBA: M  
(IF DIFFERENT)

OWNERS: MARTIG



95-4108415

# 13420 Ventura Boulevard Photo Key Map











**APPLICATIONS:**

**DEPARTMENT OF CITY PLANNING APPLICATION**

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number \_\_\_\_\_

Env. Case Number \_\_\_\_\_

Application Type \_\_\_\_\_

Case Filed With (Print Name) \_\_\_\_\_ Date Filed \_\_\_\_\_

Application includes letter requesting:

- Waived hearing
- Concurrent hearing  
Related Case Number \_\_\_\_\_
- Hearing not be scheduled on a specific date (e.g. vacation hold)

*Provide all information requested. Missing, incomplete or inconsistent information will cause delays.  
All terms in this document are applicable to the singular as well as the plural forms of such terms.*

**1. PROJECT LOCATION**

Street Address<sup>1</sup> 13420 W Ventura Blvd Unit/Space Number \_\_\_\_\_

Legal Description<sup>2</sup> (Lot, Block, Tract) Lot 8, Block C, TR 5956

Assessor Parcel Number 2373005007 Total Lot Area 3186.9

**2. PROJECT DESCRIPTION**

Present Use retail

Proposed Use restaurant

Project Name (if applicable) \_\_\_\_\_

Describe in detail the characteristics, scope and/or operation of the proposed project change of use from retail to restaurant with alcohol sales. addition of 163 SF and optional future outdoor seating.

Additional information attached  YES  NO

Complete and check all that apply:

**Existing Site Conditions**

- Site is undeveloped or unimproved (i.e. vacant)
- Site has existing buildings (provide copies of building permits)
- Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
- Site is located within 500 feet of a freeway or railroad
- Site is located within 500 feet of a sensitive use (e.g. school, park)
- Site has special designation (e.g. National Historic Register, Survey LA)

<sup>1</sup> Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)  
<sup>2</sup> Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

**Proposed Project Information**

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree
- New construction: 163 square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

**Housing Component Information**

Number of Residential Units: Existing \_\_\_\_\_ - Demolish(ed)<sup>3</sup> \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_  
 Number of Affordable Units<sup>4</sup> Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_  
 Number of Market Rate Units Existing \_\_\_\_\_ - Demolish(ed) \_\_\_\_\_ + Adding \_\_\_\_\_ = Total \_\_\_\_\_  
 Mixed Use Projects, Amount of Non-Residential Floor Area: \_\_\_\_\_ square feet

**Public Right-of-Way Information**

Have you submitted the Planning Case Referral Form to BOE? (required)  YES  NO  
 Is your project required to dedicate land to the public right-of-way?  YES  NO  
 If so, what is/are your dedication requirement(s)? \_\_\_\_\_ ft.  
 If you have dedication requirements on multiple streets, please indicate: \_\_\_\_\_

**3. ACTION(S) REQUESTED**

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36?  YES  NO

Authorizing section 12.24. W.1 Section from which relief is requested (if any): \_\_\_\_\_

Request: Request to allow full-line of alcohol sales in association with a restaurant

Authorizing section 11.5.7 Section from which relief is requested (if any): \_\_\_\_\_

Request: Project Permit Compliance

Authorizing section \_\_\_\_\_ Section from which relief is requested (if any): \_\_\_\_\_

Request: \_\_\_\_\_

Additional Requests Attached  YES  NO

<sup>3</sup> Number of units to be demolished and/or which have been demolished within the last five (5) years.

<sup>4</sup> As determined by the Housing and Community Investment Department

**4. RELATED DEPARTMENT OF CITY PLANNING CASES**

Are there previous or pending cases/decisions/environmental clearances on the project site?  YES  NO

If YES, list all case number(s) \_\_\_\_\_

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. \_\_\_\_\_ Ordinance No.: \_\_\_\_\_

- Condition compliance review
- Modification of conditions
- Revision of approved plans
- Renewal of entitlement
- Plan Approval subsequent to Master Conditional Use
- Clarification of Q (Qualified) classification
- Clarification of D (Development Limitations) classification
- Amendment to T (Tentative) classification

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project?  YES  NO

Have you filed, or is there intent to file, a Subdivision with this project?  YES  NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**5. OTHER AGENCY REFERRALS/REFERENCE**

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please check all that apply and provide reference number if known.

Are there any outstanding Orders to Comply/citations at this property?  YES (provide copy)  NO

Are there any recorded Covenants, affidavits or easements on this property?  YES (provide copy)  NO

- Development Services Case Management Number \_\_\_\_\_
- Building and Safety Plan Check Number \_\_\_\_\_
- Bureau of Engineering Planning Referral (PCRF) \_\_\_\_\_
- Bureau of Engineering Hillside Referral \_\_\_\_\_
- Housing and Community Investment Department Application Number \_\_\_\_\_
- Bureau of Engineering Revocable Permit Number \_\_\_\_\_
- Bureau of Sanitation, Low Impact Development (LID) Referral \_\_\_\_\_
- Other—specify \_\_\_\_\_

6. PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant<sup>5</sup> name Henri Abergel

Company/Firm Martigues Corp. dba Mistral

Address: 13420 Ventura Blvd. Unit/Space Number \_\_\_\_\_

City Sherman Oaks State CA Zip Code: 91423

Telephone (818) 517-5861 E-mail: HABERGEL@SBCGLOBAL.NET

Are you in escrow to purchase the subject property?  YES  NO

Property Owner of Record  Same as applicant  Different from applicant

Name (if different from applicant) \_\_\_\_\_

Address \_\_\_\_\_ Unit/Space Number \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip Code: \_\_\_\_\_

Telephone \_\_\_\_\_ E-mail: \_\_\_\_\_

Agent/Representative name Caitlan Cullen

Company/Firm Crest Real Estate

Address: 11150 W Olympic Blvd #700 Unit/Space Number \_\_\_\_\_

City Los Angeles State CA Zip: 90064

Telephone (775) 690-2230 E-mail: caitlan@crestrealestate.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) \_\_\_\_\_

Name Jim Fry

Company/Firm Jim Fry, AIA

Address: 11672 Erwin Street Unit/Space Number \_\_\_\_\_

City North Hollywood State CA Zip Code: 91606

Telephone (818) 314-5266 E-mail: jimdfr1@gmail.com

Primary Contact for Project Information (select only one)  Owner  Applicant  Agent/Representative  Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

<sup>5</sup> An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

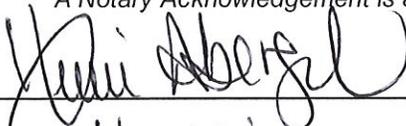
**PROPERTY OWNER**

9. **PROPERTY OWNER AFFIDAVIT.** Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- A. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- B. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- C. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- D. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.  
The City requires an original signature from the property owner with the "wet" notary stamp.  
A Notary Acknowledgement is available for your convenience on following page.*

Signature   
Print Name HENRI ABERGEL

Date 3-26-2018

Signature \_\_\_\_\_  
Print Name \_\_\_\_\_

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On Mar. 26, 2018 before me, Vincent Lee (a notary public)  
(Insert Name of Notary Public and Title)

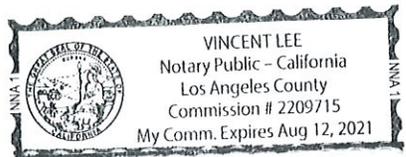
personally appeared Henri Abergel, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Vincent Lee  
Signature

(Seal)



**APPLICANT**

10. **APPLICANT DECLARATION.** A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.
- A. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
  - B. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
  - C. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
  - D. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
  - E. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
  - F. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
  - G. I understand that if this application is denied, there is no refund of fees paid.
  - H. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
  - I. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

*The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.*

Signature: \_\_\_\_\_

Date: 3/26/2018

Print Name: HENRI ABERGEL

# SPECIAL INSTRUCTIONS FOR ALCOHOL (CUB) & ADULT ENTERTAINMENT ESTABLISHMENTS (CUX) – LAMC 12.24 W.1 & 12.24 W.18

City of Los Angeles – Department of City Planning

The Special Instructions for Alcohol (CUB) & Adult Entertainment Establishments is a required attachment to the *MASTER LAND USE APPLICATION INSTRUCTIONS* (CP-7810). Only utilize this form when filing for a conditional use permit pursuant to LAMC Section 12.24 W.1 for alcohol establishments or pursuant to 12.24 W.18 for adult entertainment establishments.

## ADDITIONAL REQUIREMENTS/FINDINGS FOR APPROVAL OF A CUB or CUX:

*For a CUB or CUX request to be considered, the following additional information and findings must be provided.*

1. **RADIUS MAP REQUIREMENTS.** In addition to the Public Noticing requirements detailed in the Master Land Use Application Instructions (CP-7810):
  - Radius Maps for alcohol uses must show land use to a 600-foot radius.
  - A **LIST OF ALCOHOL ESTABLISHMENTS** between 600 and 1,000 feet of the site is required. Include in the list the type of license and address.
  - A **LIST OF THE FOLLOWING USES** within 600 feet is also required:
    - (1) residential uses and type (single-family, apartment, hotel, etc.);
    - (2) churches;
    - (3) schools, including nursery schools and child-care facilities;
    - (4) hospitals;
    - (5) parks, public playgrounds and recreational areas; and
    - (6) establishments dispensing, for consideration, alcoholic beverages for consumption on or off premises.
2. **FINDINGS (on a separate sheet)**
  - a. **General Conditional Use**
    - i. That the project will enhance the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region.
    - ii. That the project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.
    - iii. That the project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.
  - b. **Additional Findings**
    - i. Explain how the proposed use will not adversely affect the welfare of the pertinent community.
    - ii. Explain how the approval of the application will not result in or contribute to an undue concentration of such establishments.
    - iii. Explain how the approval of the application will not detrimentally affect nearby residential zones or uses.



b. Will there be entertainment such as a piano bar, dancing, live entertainment, movies, karaoke, video game machines, etc...? Please specify: \_\_\_\_\_

**Note:** *An establishment that allows for dancing needs a conditional use pursuant to 12.24 W.18.*

c. Will there be minimum age requirements for entry? \_\_\_\_\_ If yes, what is the minimum age requirement and how will it be enforced? \_\_\_\_\_

d. Will there be any accessory retail uses on the site? \_\_\_\_\_ What will be sold? \_\_\_\_\_

e. **Security**

i. How many employees will you have on the site at any given time? \_\_\_\_\_

ii. Will security guards be provided on-site? \_\_\_\_\_

1. If yes, how many and when? \_\_\_\_\_

iii. Has LAPD issued any citations or violations? \_\_\_\_\_ If yes, please provide copies.

f. **Alcohol**

i. Will there be beer & wine only, or a full-line of alcoholic beverages available? \_\_\_\_\_

ii. Will "fortified" wine (greater than 16% alcohol) be sold? \_\_\_\_\_

iii. Will alcohol be consumed on any adjacent property under the control of the applicant? \_\_\_\_\_  
Ventura Blvd- Mistral

iv. Will there be signs visible from the exterior that advertise the availability of alcohol? \_\_\_\_\_

v. **Food**

1. Will there be a kitchen on the site? \_\_\_\_\_

2. Will alcohol be sold without a food order? \_\_\_\_\_

3. Will the sale of alcohol exceed the sale of food items on a quarterly basis? \_\_\_\_\_

4. Provide a copy of the menu if food is to be served. attached

vi. **On-Site**

1. Will a bar or cocktail lounge be maintained incidental to a restaurant? \_\_\_\_\_

a. If yes, the floor plans must show the details of the cocktail lounge and the separation between the dining and lounge facilities.

2. Will off-site sales of alcohol be provided accessory to on-site sales ("Take Out")? \_\_\_\_\_

a. If yes, a request for off-site sales of alcohol is required as well.

3. Will discounted alcoholic drinks ("Happy Hour") be offered at any time? \_\_\_\_\_

vii. **Off-Site**

1. Will cups, glasses or other containers be sold which might be used for the consumption of alcohol on the premises? \_\_\_\_\_
2. Will beer or wine coolers be sold in single cans, or will wine be sold in containers less than 1 liter (750 ml)? \_\_\_\_\_

viii. Contact the CA Department of Alcoholic Beverage Control (ABC) regarding its requirements -- <http://www.abc.ca.gov/>.

**5. CALDERA BILL (CA Business and Professions Code Section 23958 and 23958.4)**

- a. Is this application a request for on-site or off-site sales of alcoholic beverages? \_\_\_\_\_
  - i. If yes, is the establishment a bona-fide eating place (restaurant) or hotel/motel? \_\_\_\_\_
    1. If no, contact the CA Department of Alcoholic Beverage Control (ABC) to determine whether the proposed site is located in an area whereby:
      - a. issuance of a license to serve alcohol on-site or off-site would tend to create a law enforcement problem, or
      - b. if issuance would result in, or add to an undue concentration of licenses.
    - b. If ABC has determined that an eligible use is in an area of high crime or undue concentration of licenses, the City Council will need to make the finding that the issuance of the license is required for **public convenience or necessity**.

**6. ADDITIONAL REQUIREMENTS FOR MASTER CUBs/CUXs.** In addition to all requirements detailed in the Master Land Use Application Instructions (CP-7810), applications for Master CUBs/CUXs shall include:

- A separate sheet containing a table identifying all CUB or CUX requests on the subject site, indicating: the type of alcohol permit sought; the square footage of each particular restaurant, bar or event space; the identifying address or suite/unit number corresponding to each CUB/CUX request; and (if known) the tenant-operator of each alcohol or adult entertainment establishment.
- All CUB or CUX requests on the subject site clearly identified and labeled on the plot plan and applicable floor plans, indicating: each type of alcohol permit sought; the square footage of each particular restaurant, bar or event space; and the identifying address or suite/unit number corresponding to each CUB/CUX request.

**NOTE:** *Please consider submitting documents beyond the requirements outlined in this form. If there are other circumstances which may further a more complete understanding of the project, do not hesitate to submit such information. The documents submitted with the application and the public hearing constitute the **primary opportunity** to clarify and define the project.*



## 13420 W. Ventura Blvd. SPP-CUB Findings

### THE REQUESTS

The Applicant, Henri Abergel is seeking the following discretionary approvals from the City of Los Angeles:

**Pursuant to L.A.M.C. Section 11.5.7-C, a Project Permit Compliance** and pursuant to **L.A.M.C. Section 12.24-W,1, a Conditional Use Permit** approving a change of use and 163 square foot addition in the C2-1VL zone to create a 996.5 square foot restaurant at which the sale and dispensing of a full line of alcoholic beverages for on-site consumption will occur in conjunction with dinner service.

Pursuant to various sections of Los Angeles Municipal Code, the Applicant will request approvals and permits from the Building and Safety Department (and other municipal agencies) for project construction activities including, but not limited to the following: demolition, grading, excavation, building, plumbing, mechanical, and electrical.

### PROJECT DESCRIPTION

#### Project Site

The subject property is a regularly shaped largely flat lot containing 3,188 square feet with a 25-foot frontage along Ventura Boulevard. The property is currently occupied by two one-story buildings, a single-family dwelling (SFD) constructed in 1939 and a retail use constructed in 1939 of 833.5 square feet to which the proposed addition will be made. The SFD will not be impacted by the Proposed Project.

The subject site is located in the Sherman Oaks Community Plan in an area designated for General Commercial land uses and is zoned C2-IVL. The property is also located within the Ventura-Cahuenga Boulevard Corridor Specific Plan, within the Sherman Oaks Neighborhood & General Commercial zone and Pedestrian Development District.

The property is within a Special Grading Area (BOE Basic Grid Map A-13372), a liquefaction area and within a 500 ft school zone of Dixie Canyon Community Charter.

The surrounding properties to the north, west and east are all zoned C2-1VL and occupied by commercial uses while the property to the south across the adjacent alley is zoned [Q]RD1.5-1 and occupied by an apartment building.

## Proposed Project

This request is part of a Proposed Project to complete a change of use from retail to restaurant accompanied by a 163 square foot, one-story addition to accommodate a new proposed restaurant use totaling 996.5 square feet in conjunction with which a full line of alcohol sales will take place. The proposed restaurant will operate from 5pm to 11pm daily and have indoor seating for 24. The potential for outdoor seating for approximately three tables at the front of the property is contemplated within these findings though not currently anticipated to be a part of opening day operations but rather a future use pending approval of permitting for use of the public-right-of-way. In addition, minor façade improvements are proposed including the replacement of existing doors and windows, placement of an awning and minor signage.

## LAMC Conformance

As stated above, the Applicant is requesting approval for a proposed change of use from retail to restaurant, an addition of 163 square feet and the ability to sell a full-line of alcohol in conjunction with restaurant operations pursuant to **L.A.M.C. Section 12.24-W,1,** and **Section 11.5.7-C.**

Except for this instant request, the Proposed Project will abide by all applicable zoning and building codes per the Los Angeles Municipal Code (LAMC) and any other applicable regulating bodies.

## **STREETS AND CIRCULATION**

**Ventura Boulevard-** Adjoining the property to the north is a Ventura Boulevard, designated Boulevard II, dedicated to a half width of 50 feet and improved with a roadway of 35 feet. While a dedication and improvement of 5 feet would be required to meet roadway standards for a Boulevard II, the Proposed Project is excepted from the requirement to dedicate and improve per L.A.M.C. Section 12.37 as it does not exceed 500 square feet.

**Alley-** Adjoining the property in the rear to the south is a 10 foot alleyway which provides access to parking for the property.

## **PREVIOUS ZONING RELATED ACTIONS**

**YV-1978-272--** On August 25, 1978 a variance was issued allowing for the construction and maintenance of a one-story, approximately 18-ft by 8-ft 6-in commercial addition on the northerly front portion of the lot further improved with a one-story, single-family dwelling and a detached garage, but with said addition precluding physical access by way of the required passageway from the street to one entrance of the dwelling unit, but having a 10-ft passageway from the alley in lieu thereof.

## **ADDITIONAL INFORMATION / FINDINGS FOR APPROVAL OF PROJECT PERMIT COMPLIANCE & CONDITIONAL USE PERMIT (ALCOHOL)**

### **Pursuant to L.A.M.C. Section 11.5.7-C**

- 1. The project substantially complies with the applicable regulations, findings, standards, and provisions of the Ventura/Cahuenga Boulevard Corridor Specific Plan.**

The Ventura/Cahuenga Boulevard Corridor Specific Plan is silent on the sale of alcohol. However, as a change of use from retail to restaurant and a 163 square foot addition in a zone that allows for such use, the Proposed Project will be comply with not only the General Plan but the Ventura/Cahuenga Boulevard Corridor Specific Plan as well and as detailed below.

The Ventura/Cahuenga Boulevard Corridor Specific Plan designates the project area as a Pedestrian Development District (PDD). The Land-Use restrictions of the PDD prohibits drive through establishments and auto related uses. The project as a proposed one-story addition of 163 square feet to an existing building and a change of use to restaurant is permitted by the Specific Plan.

Furthermore, the project is located within the Neighborhood and General Commercial plan designations and is limited to a FAR development right not to exceed 1.0:1 and a max lot coverage of 60%. The project site is 3,188 square feet and is currently occupied by an 833.5 square foot store and 256 square foot residence as confirmed by site survey and permit history respectively. The addition of 163 square feet would maintain the floor area well within the allowable FAR and lot coverage.

The Proposed Project involves addition to an existing structure with established yard setbacks. The project will continue to observe the existing yard setbacks. Currently, the front façade of the structure, as permitted, sits within 3 inches of the front property line and does not observe the 18-inch landscaped setback required by the Specific Plan. Improvement to the front façade will be limited to cosmetic improvements including replacement of windows and doors and the addition of an awning. Window planter boxes will be added to provided landscaping to the extent feasible by the project. As the property is adjacent to residential use, separated by an alleyway, a setback of 20 feet is required. A setback of over 40 feet has been provided, conforming with this requirement. Per the Specific Plan, a max height of 30 feet is allowed, under the Proposed Project, the existing height of the structure will be maintained at 14 feet 8 inches.

Proposed signage for the project complies with the requirements of the specific plan and is limited to an approximately 3.75 square foot panel over the door onto

which sign lettering will be painted in gold leaf. Lighting will be achieved by wall washing lights concealed by awning above.

For the proposed restaurant use, on-site parking is required at a rate of 1 space per 100 square feet resulting in 10 required spaces for the proposed use per the Specific Plan. A credit of 3 spaces for the existing retail use reduces required parking to 7 spaces. However, as the Proposed Project is a change of use and addition to an existing structure, ability to provide onsite parking is exceptionally limited. Consequently, on-site parking will be limited to one van accessible ADA space and a loading zone, both of which will be located in the rear of the property and accessed via the adjacent alleyway; and 4 bike parking spaces replacing 2 vehicular parking spaces. As allowed for per the Specific Plan, since the Proposed Project is a change of use and addition less than 1,000 square feet for which parking requirements can not be met on site, the remaining 4 required parking spaces will be achieved by entering into a covenant and agreement with LA DOT to pay \$100 dollars per month per space into the Community's Parking Revenue Fund for as long as the Project parking deficiency continues to exist. Proposed vehicular and bike parking is summarized in the tables below.

PARKING SPACE REQUIREMENTS			
SPACE TYPE	REQUIRED		PROVIDED
NEW RESTAURANT : 1 PER 100 SF/ 996.5 SF	10	7	1- VAN ACCESSIBLE SPACE ( 9'X19') ON SITE
CREDIT FOR EXISTING 833 SF RETAIL USE ; 1 PER 250 SF = 3.32 SPACES	<3>		2-REPLACEMENT SPACES PER 4 BICYCLE PARKING ON PROPERTY AND SIDEWALK
NET NEW PARKING SPACES REQUIRED	7		4- STANDARD SPACES PER COVENANT WITH DEPT OF TRANSPORTATION MONTHLY PAYMENT PER DEFICIT PARKING SPACES

DISABLED PARKING SPACES PER TABLE 11B-208.2		
SPACE TYPE	REQUIRED	PROVIDED
VAN ACCESSIBLE SPACE (9' X 19')	1	1 VAN ACCESSIBLE SPACE
* PER CBC 11B-208.2.4, AT LEAST ONE DISABLED ACCESS PARKING SPACE SHALL BE A VAN ACCESSIBLE SPACE COMPLYING WITH SECTION 11B-502		

PARKING SPACE REPLACEMENT PER LAMC 12.21A.4			
SPACE TYPE	REQUIRED		PROVIDED
SITE LOCATION ALLOWS UP TO 20% PARKING SPACE REDUCTION	2 PARKING SPACE REPLACEMENT MAX.	1 PARKING SPACE FOR EVERY 4 BICYCLES ON PROPERTY	2 LONG TERM BICYCLE SPACES. 4 SHORT TERM BICYCLE SPACES
		1 PARKING SPACE FOR EVERY 4 BICYCLES ON SIDEWALK PENDING LADOT APPROVAL	2 SHORT TERM BICYCLE SPACES
PARKING SPACES PROVIDED PER REPLACEMENT ON SITE			1.5
PARKING SPACES PROVIDED PER REPLACEMENT ON SIDEWALK PENDING LADOT APPROVAL			.5

REQUIRED BICYCLE PARKING PER LAMC TABLE 12.21.A.16		
LAND USE	REQUIRED	PROVIDED
SMALL RESTAURANT ( <1000SF)	2 SHORT TERM AND 2 LONG TERM SPACES	2 BIKE LOCKERS AND 4 SHORT TERM SPACES

Additional traffic created by the Proposed Project would be negligible as the proposed restaurant will be replacing a retail use in a pedestrian oriented district. Furthermore, considering the limited size and seating capacity of the Proposed Project, Los Angeles Department of Transportation (LA DOT) thresholds for traffic study as well as Specific Plan thresholds for Preliminary Traffic Assessment will not be triggered. None the less, as required by the Specific Plan, the Proposed Project will be reviewed by LA DOT and associated Project Impact Assessment (PIA) fees will be paid.

As indicated by the above project features, the project will substantially comply with the applicable regulations, findings, standards, and provisions of the Ventura/Cahuenga Boulevard Corridor Specific Plan.

**2. The project incorporates mitigation measures, monitoring measures when necessary, or alternatives identified in the environmental review, which would mitigate the negative environmental effects of the project, to the extent physically feasible**

As a change of use with minor façade alteration and addition of less than 50% to an existing structure in an existing urbanized area, it is anticipated that the Proposed Project will qualify for a Categorical Exemption under CEQA. More specifically, the Proposed Project is located on a site that is currently developed with a retail used adequately served by all necessary public services and facilities that are proposed to remain. Furthermore, the project site is not located in an area that is environmentally sensitive or scenic or historic. Therefore, no additional mitigation measures or monitoring measures above the general conditions that will be applied as part of the requested CUB and SPP approval should be necessary.

**Pursuant to LAMC Section 12.24-W,1**

**1. The project enhances the built environment in the surrounding neighborhood or will perform a function or provide a service that is essential or beneficial to the community, city, or region**

The subject site is located in the Sherman Oaks Community Plan in an area designated for General Commercial land uses and is zoned C2-IVL. The property is also located within the Ventura-Cahuenga Boulevard Corridor Specific Plan, within the Sherman Oaks Neighborhood & General Commercial zone and Pedestrian Development District (PDD). The property is within a Special Grading Area (BOE Basic Grid Map A-13372), a liquefaction area and within a 500 ft school zone of Dixie Canyon Community Charter. The surrounding properties to the north, west and east are all zoned C2-1VL and occupied by commercial uses while the property to the south across the adjacent alley is zoned [Q]RD1.5-1 and occupied by an apartment building.

The proposed addition is one story towards the rear of the existing building and will not significantly alter the massing of structure relative to its frontage along Ventura Boulevard nor alter the distance currently established between the buildings on the subject property and the adjacent residential uses. The proposed façade changes, including replacement of doors and windows, placement of new awning, signage, window boxes and the potential future outdoor seating will enhance the streetscape along Ventura Boulevard by providing a much-needed update to the existing dated façade.

The Proposed Project is in alignment with the stated purpose of the Specific Plan “To promote a high level of pedestrian activity in the Pedestrian Oriented Areas by regulating the placement of buildings and structures to accommodate outdoor dining and other ground level retail activity, as well as provide for attractive landscaping”. The proposed restaurant use will provide a beneficial, neighborhood oriented high-end dining opportunity while the outdoor seating proposed will serve to continue the Specific Plan goals of making this area of Ventura Boulevard a Pedestrian Oriented District.

**2. That the project’s location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare, and safety.**

As noted previously, the proposed addition is one story towards the rear of the existing building and will not significantly alter the massing of structure relative to its frontage along Ventura Boulevard nor alter the distance currently established between the buildings on the subject property and the adjacent residential uses. Furthermore, the Proposed Project is well within the allowable FAR and lot coverage as specified by the Specific Plan. The Proposed Project involves addition to an existing structure with established yard setbacks. The project will continue to observe the existing yard setbacks. Currently, the front façade of the structure, as permitted, sits within 3 inches of the front property line and does not observe the 18-inch landscaped setback required by the Specific Plan. Improvement to the front façade will be limited to cosmetic improvements including replacement of windows and doors and the addition of an awning. Window planter boxes will be added to provided landscaping to the extent feasible by the project. As the property is adjacent to residential use, separated by an alleyway, a setback of 20 feet is required. A setback of over 40 feet has been provided, conforming with this requirement. Per the Specific Plan, a max height of 30 feet is allowed, under the Proposed Project, the existing height of the structure will be maintained at 14 feet 8 inches.

The proposed restaurant will operate for dinner service from 5pm to 11pm daily and have indoor seating for 24. The potential for outdoor seating for approximately three tables at the front of the property is contemplated within these findings though not currently anticipated to be a part of opening day operations but rather a future use pending approval of permitting for use of the public-right-of-way.

The applicant currently operates the adjacent Mistral restaurant located at 13422 Ventura Boulevard. Mistral has been a mainstay of the community for decades, providing a high-end dining opportunity that is easily accessed by the surrounding neighborhood. The addition and change of use that are the subject of this request are not intended as an expansion to Mistral and will not be physically connected to the current restaurant in anyway.

The existing Mistral restaurant is currently permitted to sell a full line of alcohol under Alcohol Beverage (ABC) License No. 207205 type 47 and has done so without incident for the life of the restaurant. The proposed restaurant that is the subject of this request is designed as a full stand-alone operation but will be operated as an annex to the existing Mistral restaurant primarily utilized for private events. Similar to the existing Mistral restaurant, a full line of alcohol sales is proposed on the current subject property. Alcohol sales will only be conducted in association with dining and no separate bar area is proposed. The proposed sale of alcohol is an integral part of the restaurant operations and patron services though will constitute minimal percentage of restaurant revenue. Alcohol sales are proposed under the catering license of Mistral ABC License No. 207205 Type 58. As required by the ABC, events within the space that include the sale of alcohol under the catering permit will be limited to two times a month. Prior to these events, written authorization will be obtained from ABC and local law enforcement will be notified as required. At all approved events, the licensee will exercise only those privileges authorized by the licensee's license and will comply with all provisions of the ABC Act pertaining to the conduct of on-sale premises.

For the proposed restaurant use, on-site parking is required at a rate of 1 space per 100 square feet resulting in 10 required spaces for the proposed use per the Specific Plan. A credit of 3 spaces for the existing retail use reduces required parking to 7 spaces. However, as the Proposed Project is a change of use and addition to an existing structure, ability to provide onsite parking is exceptionally limited. Consequently, on-site parking will be limited to one van accessible ADA space and a loading zone, both of which will be located in the rear of the property and accessed via the adjacent alleyway; and 4 bike parking spaces replacing 2 vehicular parking spaces. As allowed for per the Specific Plan, since the Proposed Project is a change of use and addition less than 1,000 square feet for which parking requirements cannot be met on site, the remaining 4 required parking spaces will be achieved by entering into a covenant and agreement with LA DOT to pay \$100 dollars per month per space into the Community's Parking Revenue Fund for as long as the Project parking deficiency continues to exist. Current valet parking service provided for the existing Mistral Restaurant will be expanded, with required permits and licenses being sought as necessary, to serve the Proposed Project.

**3. That the project substantially conforms with the purpose, intent and provisions of the General Plan, the applicable community plan, and any applicable specific plan.**

The subject site is located in the Sherman Oaks Community Plan in an area designated for General Commercial land uses and is zoned C2-IVL. The Ventura/Cahuenga Boulevard Corridor Specific Plan is silent on the sale of alcohol. However, as a change of use from retail to restaurant and a 163 square foot

addition in a zone that allows for such use, the Proposed Project will be compliant with not only the General Plan but the Ventura/Cahuenga Boulevard Corridor Specific Plan.

The Ventura/Cahuenga Boulevard Corridor Specific Plan designates the project area as a Pedestrian Development District (PDD). The Land-Use restrictions of the PDD prohibits drive through establishments and auto related uses. The project as a proposed one-story addition of 163 square feet to an existing building and a change of use to restaurant is permitted by the Specific Plan.

The Proposed Project abides by all design requirements of the general plan and specific plan including FAR, lot coverage, yards, heights, and landscaping. Parking will also abide with requirements as outlined previously within these findings. Consequently, the project will substantially comply with the applicable regulations, findings, standards, and provisions of the Ventura/Cahuenga Boulevard Corridor Specific Plan and the General Plan.

### **Additional CUB Findings**

#### **1. Explain how the proposed use will not adversely affect the welfare of the pertinent community**

As noted previously, the applicant currently operates the adjacent Mistral Restaurant located at 13422 Ventura Boulevard. Again, the addition and change of use that are the subject of this request are not intended as an expansion to Mistral and will not be physically connected to the current restaurant in anyway. The proposed restaurant that is the subject of this request is designed as a full stand-alone operation but will be operated as an annex to the existing Mistral restaurant primarily utilized for private events. Consequently, the existing operations of Mistral can be used as a proxy for the anticipated operations of the Proposed Project.

The existing Mistral restaurant is currently permitted to sell a full line of alcohol under Alcohol Beverage (ABC) License No. 207205 type 47 and has done so without incident for the life of the restaurant. Furthermore, as is the case at the existing Mistral restaurant, alcohol sales will be secondary to general restaurant service of the new Proposed Project and will be conducted in conjunction with meal service. Mistral is regularly inspected by local agencies such as the Health Department and Fire Department and is always found to be in a good orderly condition, meeting all of the requirements.

All new employees along with existing employees are continually instructed on the correct procedures in serving any alcoholic beverage and the appropriate rules and guidelines of the ABC. All front of the restaurant managers as well as future bartenders are required to attend the "STAR" Training program class on alcohol and responsible serving provided by the Los Angeles Police Department.

Mistral is a mainstay of the community providing a high-end dining experience easily accessed by the surrounding community. The current Mistral location has not had any issues with loitering, public drunkenness, nuisance or other crime activities. With this new endeavor, the management of the existing Mistral venue and this new Proposed Project is committed to continuing to be an asset to the community and operating in a manner won't potentially harm the surrounding community.

- 2. The granting of such application will not result in an undue concentration the Area of establishments dispensing, for sale or other consideration, alcoholic beverages, including beer and wine, giving consideration to applicable State laws and to the California Department of Alcoholic Beverage Control's guidelines for undue concentration; and also giving consideration to the number and proximity of such establishments within a one thousand feet radius of the site, the crime rate in the area (especially those crimes involving public drunkenness, the illegal sale or use of narcotics, drugs or alcohol, disturbing the peace and disorderly conduct), and whether revocation or nuisance proceedings have been initiated for any use in the Area.**

According to the State of California Department of Alcoholic Beverage Control (ABC) licensing criteria, two on-sale and one off-sale licenses are allocated to Census Tract No. 1411.02. There are currently, 8 on-sale and two off-sale licenses in this Census Tract. Nine of these licenses, are located within 600 feet of the site including the full line, on-site license issued to Mistral restaurant.

The Proposed Project will not result in an undue concentration of establishments dispensing alcoholic beverages within the tract as alcohol sales are proposed under the existing catering license of Mistral ABC License No. 207205 Type 58. As required by the ABC, events within the space that include the sale of alcohol under the catering permit will be limited to two times a month. Prior to these events, written authorization will be obtained from ABC and local law enforcement will be notified as required. At all approved events, the licensee will exercise only those privileges authorized by the licensee's license and will comply with all provisions of the ABC Act pertaining to the conduct of on-sale premises.

Over concentration can be undue when the addition of a license will negatively impact a neighborhood. Over concentration is not undue when the approval of a license does not negatively impact an area, but rather such a license benefits the public welfare and convenience. The mode and character of the proposed restaurant will cater to an upscale clientele and will not conduct any live entertainment or dancing on the premises. Thus, it is not anticipated to result in any activity that would contribute to the area's crime rate.

**3. The proposed use will not detrimentally affect nearby residential zoned communities in the Area after giving consideration to the distance of the proposed use from the following: residential buildings, churches, schools, hospitals, public playgrounds, and other similar uses; and other establishments dispensing, for sale or other consideration, alcoholic beverages, including beer and wine.**

The following sensitive uses are located within 1,00 feet of the subject site:

- Dixie Canyon Avenue Charter Elementary School 4220 Dixie Canyon Avenue
- St Frances De Sales Church 13370 Valleyheart
- Evergreen Church 13442 Ventura Boulevard
- Sherman Oaks Mission 13517 Ventura Boulevard
- St Frances De Sales Church Elementary School 13370 Valleyheart
- Woodcrest Preschool 13562 Ventura Boulevard

This site is also adjacent to residential uses to the south and the surrounding includes a wide variety of commercial and residential uses, including the above noted sensitive uses. The site is adequately buffered from the residential uses to the south by a 20-foot wide alley as well as an existing wood fence and building in the rear of the property that are proposed to remain. The sale of alcohol will occur in conjunction with a full-service restaurant. Proposed hours of operation are from 5pm to 11pm daily with activities largely being conducted indoors except for if/when outdoor seating is permitted along Ventura Boulevard (away from the residential area). Consequently, no detrimental affects are anticipated to surrounding uses or residential areas.



REFERRAL FORMS:

GEOGRAPHIC PROJECT PLANNING REFERRAL

APPLICABILITY: This form, completed and signed by appropriate Planning Staff, must accompany any application submitted to the Department of City Planning regarding any of the following proposed project types:

- Specific Plan area
• Community Design Overlays (CDO)
• Neighborhood Oriented District (NOD)
• Sign District (SN)
• Small Lot Subdivision
• Zone Change
• Design Review Board (DRB)
• Pedestrian Oriented District (POD)
• Community Plan Implementation Ordinance (CPIO)
• Public Benefit Alternative Compliance
• Zone Variance

PROJECT SUMMARY:

1. Address of Subject Property: 13420 Ventura Blvd

2. Name of Community Plan Area: Sherman Oaks - Studio City - Toluca Lake - Cahuenga Pass

a. Name of Specific Plan, DRB, CDO, POD, NOD, CPIO, or SN, including subarea if applicable: (If this is a Density bonus, Small Lot Subdivision or Zone Variance case, please write in the application type).

Ventura/Cahuenga Boulevard Corridor

3. Project Type (check all that apply)

- Change of Use, Addition, Renovation, Sign, Grading, Density Bonus, Small Lot Subdivision, Other (describe)

If Change of Use, what is: Existing Use? retail Proposed Use? restaurant

Description of proposed project: change of use from retail to restaurant with alcohol sales. addition of 163 SF and optional future outdoor seating.

Items 4-7 to be completed by Department of City Planning Staff Only

4. AUTHORIZATION TO FILE: (check all that apply)

Specific Plan/SN

- Project Permit (Minor, Standard, Major), Modification, Adjustment, Exception, Amendment, Interpretation, Not a Project, Other

Design Review Board

- Preliminary Review       Final Review

CDO/POD/NOD

- Discretionary Action       Sign-off only  
 **Minor** (3 signs or less OR change of use)  
 **Standard** (Remodel or renovation in which additions are no greater than 200 sq. ft. more than 3 signs, wireless equipment)       Not a Project  
 **Major** (All other projects, e.g. new buildings, remodels that include an addition of more than 200 sq. ft.)

Community Plan Implementation Overlay (CPIO)

- Administrative Clearance (Multiple Approvals)     CPIO Adjustment (CPIOA)     CPIO Exception (CPIOE)  
 Potentially Historic Resource

Affordable Housing

- Density Bonus       Conditional Use >35%  
 Affordable Housing Referral Form       Public Benefit  
 Off-menu incentives requested

Small Lot Subdivision

- Consultation completed

Streetscape Plan

- Consultation completed       Not a Project or N/A under Streetscape Plan: \_\_\_\_\_  
(Insert Streetscape Plan Area)

**5. ENVIRONMENTAL CLEARANCE:**

- Not Determined  
 **Categorical Exemption**       Environmental Assessment Form (EAF)  
 Class 32 Categorical Exemption       Other Entitlements needed  
 Existing ENV Case Number: \_\_\_\_\_  
 ENV Addendum Case Number: \_\_\_\_\_

**6. PUBLIC NOTICING:**

- Standard (BTC to mail hearing notice)  
 Special (At time of filing applicant must pay BTC to mail determination letters only)  
 Abutting owners       Abutting occupants

**7. NOTES:** - NOT ON SURVEY LA.

- NEED Applicant/owner INFO SIGNATURE/NORMALIZED  
- NEED Mapping LABELS - RADIIUS MAP/ FINDINGS/      NEED NC PACKET  
- DOT Referral  
- PROVIDE CLEARANCE plans for FRONT WALL

Project Planning Signature: <i>Marianne King</i>	Phone Number: <i>818374 5059</i>
Print Name: <i>MARIANNE KING</i>	Date: <i>2/8/18</i>

**INSTRUCTIONS: Project Planning Referrals**

1. **Appointments:** A pre-filing appointment with the assigned planner is required to complete this referral form. City Planning's current *Assignment List* can be found on our website at <http://planning.lacity.org> under the "About" tab. [After the form is completed an appointment to file your application at the Development Services Centers is also required and must be made via the City Planning website.]
  
2. **Review Materials:** Review of the application by assigned staff is intended to identify the level of review required for the project and to provide the Applicant with early notification of any issues with regard to requested actions or the adequacy of application exhibits/materials which could subsequently delay processing.
  - a. Provide the assigned planner with a copy of this form with items in the Project Summary section completed.
  - b. Provide a complete copy of all application materials as specified in the Master Filing Instructions (e.g. completed DCP Application, plot plans, photographs, etc.).
  - c. Provide the Specialized Requirements/Findings or Instructions pertinent to your project (e.g. Specific Plan filing instructions, DRB filing instructions, Tentative Tract filing instructions, etc.).
  
3. **Other Applicable Approvals:** Applicants are strongly advised to obtain a pre-plan check consultation with the Los Angeles Department of Building and Safety (LADBS) to ascertain if there are any other issues or necessary approvals associated with the project/site which should be resolved prior to filing. The design of the proposed project may require alterations in order to comply with the Los Angeles Municipal Code.

City of Los Angeles Department of City Planning WEBSITE: <http://planning.lacity.org>

<u>DOWNTOWN OFFICES:</u>	Central Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 621 Los Angeles, CA	West/South/Harbor Project Planning Offices Los Angeles City Hall 200 N. Spring Street, Room 720 Los Angeles, CA	DSC Metro Counter Figueroa Plaza, 4 <sup>th</sup> Floor 221 N. Figueroa St. Los Angeles, CA
<u>VALLEY OFFICES:</u>	Valley Project Planning Offices Marvin Braude Building 6262 Van Nuys Blvd., Suite 430 Van Nuys, CA		DSC Valley Counter Marvin Braude Building 6262 Van Nuys Blvd., Suite 251 Van Nuys, CA
<u>WEST LA OFFICE:</u>			DSC West Los Angeles Counter 1828 Sawtelle Blvd., 2nd Floor West Los Angeles, CA 90025

Jules Feir  
13523 Cheltenham Drive  
Sherman Oaks, Ca 91423  
818 259 2044

March 28, 2018

To whom it may concern,

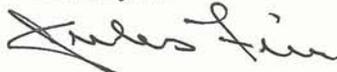
I have been a resident of Sherman Oaks since 1985 and an active member of the Sherman Oaks Homeowners Association plus other community activities for most of those years.

I also have been a frequent diner of Mistral Restaurant owned by Henri Abergel and enjoyed their delicious food and atmosphere

In all these 30 plus years I have never known of any complaints nor negative comments against Mistral. In fact, this fine dining establishment has always been acknowledged as an asset to the community.

I would totally support Henri in improvements he wishes to do at Mistral as I know he will just continue to help make out neighborhood an even better place to live and enjoy.

Thank you



Jules Feir  
Honorary Mayor Sherman Oaks

MINIMUM PLUMBING FIXTURES PER 2013 CPC, TABLE 422.1		
OCCUPANCY	A-2 RESTAURANT*	
SQUARE FOOTAGE/FACTOR	408 / 15 (DINING)=27 292 / 100 (KITCHEN) =3	
OCCUPANCY LOAD	30 / 2 = 15 MALES, 15 FEMALES	
GENDER	MALE	FEMALE
REQ'D WATER CLOSET	1	1
PROVIDED WATER CLOSET	1	1
REQ'D URINAL	1	-
PROVIDED URINAL	1	-
REQ'D LAVATORY	1	1
PROVIDED LAVATORY	1	1
* PER CPC TABLE ONLY. PER CBC SEC 303.1.1 ASSEMBLY OCCUPANCY BUILDING WITH OCC LOAD LESS THAN 50 IS CLASSIFIED A "B" OCCUPANCY		

PARKING SPACE REQUIREMENTS		
SPACE TYPE	REQUIRED	PROVIDED
NEW RESTAURANT : 1 PER 100 SF/ 996.5 SF	10	1- VAN ACCESSIBLE SPACE (9'X19') ON SITE 2-REPLACEMENT SPACES PER 4 BICYCLE PARKING ON PROPERTY AND SIDEWALK
CREDIT FOR EXISTING 833 SF RETAIL USE ; 1 PER 250 SF = 3.32 SPACES	<3>	
NET NEW PARKING SPACES REQUIRED	7	7
4- STANDARD SPACES PER COVENANT WITH DEPT OF TRANSPORTATION IN LIEU FEES FOR DEFICIT PARKING SPACES		

**PROPERTY INFORMATION**  
 PROPERTY ADDRESS: 13420 VENTURA BLVD, SHERMAN OAKS, CA 91423  
 APN: 2373005007 ; PIN NUMBER: 165B157 832  
 LEGAL DESCRIPTION: TRACT TR5056 BLOCK C LOT 8  
 LOT SIZE: 3186.9 SQ.FT  
 PROPERTY ZONE: C2-1VL  
 EXISTING USE: 833.5 SQ. FT RETAIL STORE  
 PROPERTY OWNER:  
 HENRI ABERGEL  
 13420 VENTURA BLVD  
 SHERMAN OAKS, CA 91423

DISABLED PARKING SPACES PER TABLE 11B-208.2		
SPACE TYPE	REQUIRED	PROVIDED
VAN ACCESSIBLE SPACE (9' X 19')	1	1 VAN ACCESSIBLE SPACE
* PER CBC 11B-208.2.4, AT LEAST ONE DISABLED ACCESS PARKING SPACE SHALL BE A VAN ACCESSIBLE SPACE COMPLYING WITH SECTION 11B-502		

**PROJECT INFORMATION**  
 SCOPE OF WORK: REMODEL EXISTING 833.5 SQ FT RETAIL STORE  
 ADD 163 SQ FT NEW 1 STORY CONSTRUCTION (TOTAL 996.5 SQ. FT.)  
 CHANGE USE FROM RETAIL TO RESTAURANT  
 PROPOSED RESTAURANT:  
 HOURS OF OPERATION: 5 PM - 11 PM DAILY  
 MAXIMUM NUMBER OF EMPLOYEES ANY SHIFT:4  
 NUMBER OF CUSTOMER SEATS: 24  
 EXISTING AND PROPOSED CONSTRUCTION: 1 STORY TYPE V-B, NON SPRINKLERED  
 MAXIMUM BLDG HGT: 14' 8" ABOVE GRADE PLANE  
 OCCUPANCY GROUP: B

PARKING SPACE REPLACEMENT PER LAMC 12.21A.4			
SPACE TYPE	REQUIRED		PROVIDED
SITE LOCATION ALLOWS UP TO 20% PARKING SPACE REDUCTION	2 PARKING SPACE REPLACEMENT MAX.	1 PARKING SPACE FOR EVERY 4 BICYCLES ON PROPERTY	2 LONG TERM BICYCLE SPACES. 6 SHORT TERM BICYCLE SPACES
PARKING SPACES PROVIDED PER REPLACEMENT ON SITE			2

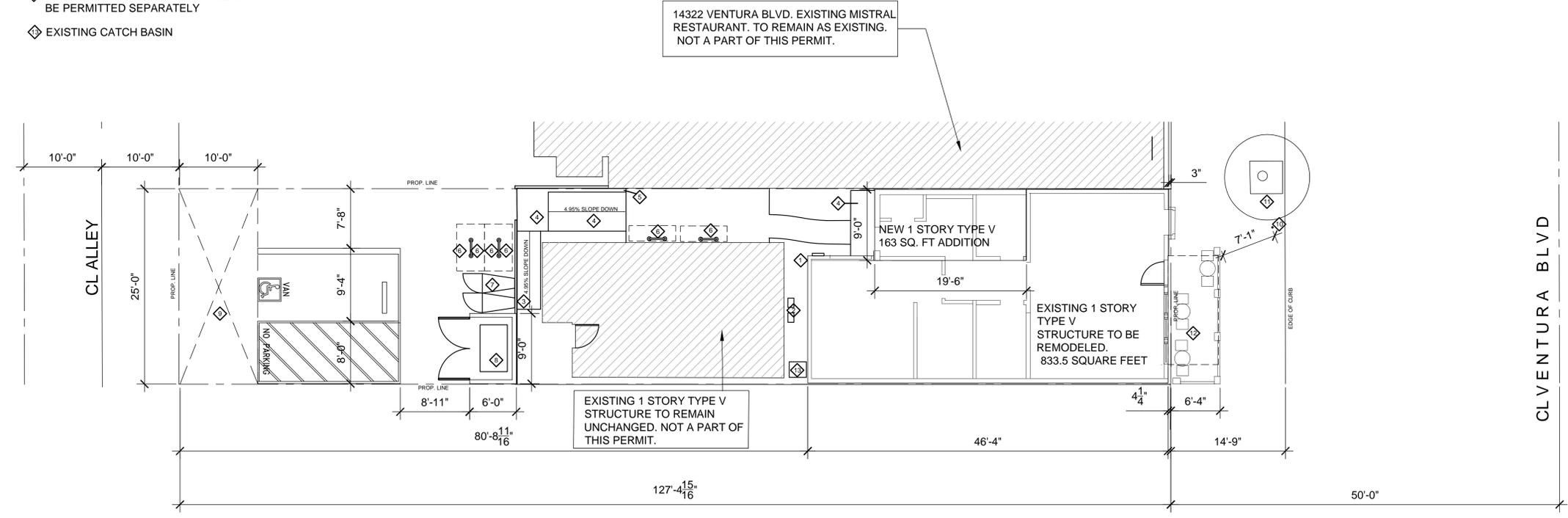
REQUIRED BICYCLE PARKING PER LAMC TABLE 12.21.A.16		
LAND USE	REQUIRED	PROVIDED
SMALL RESTAURANT (<1000SF)	2 SHORT TERM AND 2 LONG TERM SPACES	2 BIKE LOCKERS AND 6 SHORT TERM SPACES

PROPOSED REMODEL AND ADDITION TO:  
**MISTRAL RESTAURANT**  
 13420 VENTURA BLVD  
 SHERMAN OAKS, CA 91423

NO.	DATE	ISSUE OR REVISION
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**SITE PLAN KEY NOTES**

- ◇ EXISTING 200 AMP ELECTRICAL SERVICE
- ◇ EXISTING GAS METERS
- ◇ EXISTING WOOD FENCE
- ◇ NEW CONCRETE PAVING
- ◇ NEW SHORT TERM BIKE PARKING SPACE SURFACE MOUNTED BIKE RAKE: DURA BIKE MODEL DBR-3-SF-P(S) COLOR TBD
- ◇ 2- LONG TERM BIKE PARKING LOCKERS. DURA BIKE MODEL DLPV , COLOR TBD
- ◇ NEW 6" HGT 6" CMU TRASH ENCLOSURE
- ◇ LOADING SPACE
- ◇ EXISTING PARKING METER
- ◇ EXISTING STREET TREE
- ◇ POTENTIAL FUTURE OUTDOOR SEATING TO BE PERMITTED SEPARATELY
- ◇ EXISTING CATCH BASIN



SIGNATURE  
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 818-752-4500

DRAWING TITLE  
**SITE PLAN**



SCALE: 1/8" = 1'-0"  
 DRAWN BY: JDF  
 DRAWING NO. PROJECT NO. 1801  
 DATE:

**A1.1**

**GENERAL DEMOLITION NOTES**

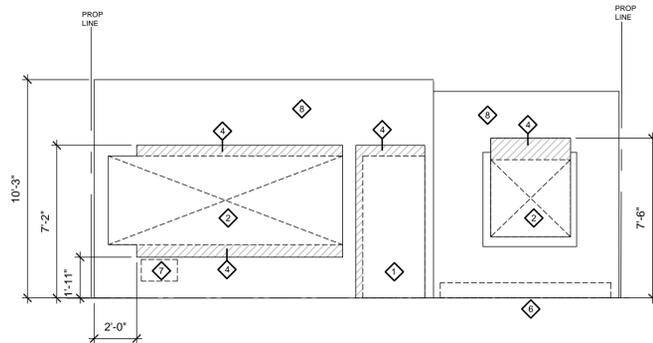
- GENERAL CONTRACTOR TO THOROUGHLY SURVEY AND DOCUMENT EXISTING CONDITIONS PRIOR TO THE START OF WORK.
- REMOVE ALL DOORS, WINDOWS AND WALLS SHOWN DASHED ON PLAN.
- REMOVE ALL HVAC DUCTS AND REGISTERS AND SOFFITS IN THE KITCHEN
- WHERE WALLS ARE NOTED AS EXISTING TO REMAIN, REMOVE EXISTING FINISH DOWN TO THE STUDS
- CAP BELOW FINISH SURFACE ALL WATER, GAS AND WASTE LINES TO BE ELIMINATED AS REQUIRED TO ACCOMMODATE NEW WORK.
- PROTECT ALL AREAS OF EXISTING CONSTRUCTION TO REMAIN FROM CONSTRUCTION AND WEATHER DAMAGE.
- TEMPORARILY BRACE FOR SUPPORT ALL ROOF FRAMING THAT HAS BEARING ON WALLS INDICATED FOR REMOVAL
- REMOVE SALVAGED MATERIALS CAREFULLY TO AVOID DAMAGE. MATERIALS NOT INDICATED FOR REUSE SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT CONTRACTOR'S OPTION.
- REMOVE FROM SITE ALL ACCUMULATED DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. TRANSPORT REMOVED MATERIALS AND LEGALLY DISPOSE OF OFF SITE.
- PROTECT ALL ADJACENT PROPERTIES FROM DAMAGE DUE TO DEMOLITION AND CONSTRUCTION.

**DEMOLITION KEY NOTES**

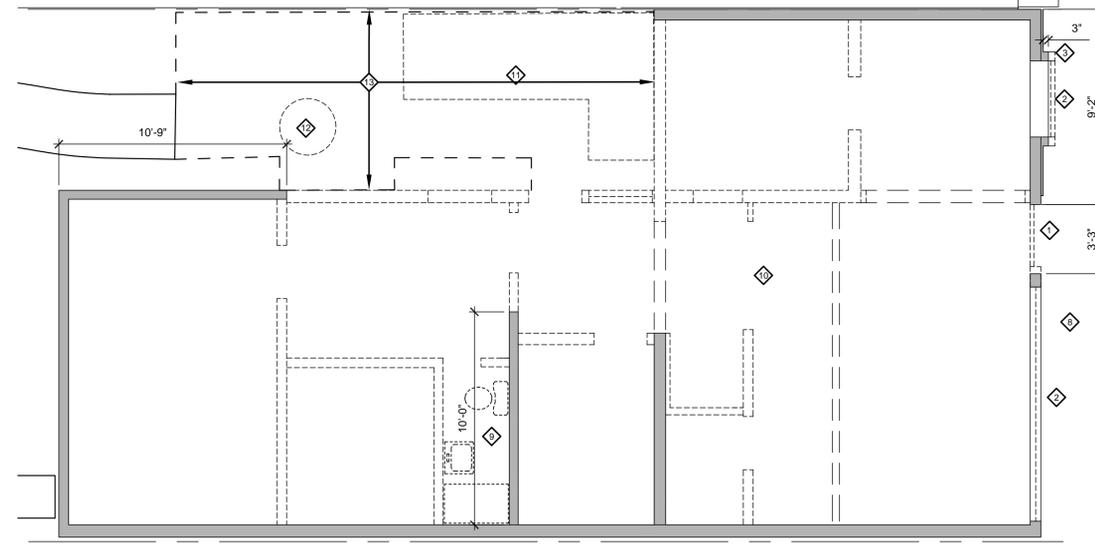
- ◇ REMOVE DOOR
- ◇ REMOVE WINDOW
- ◇ REMOVE PORTION OF PROJECTION INDICATED
- ◇ REMOVE PORTION OF (E) WALL INDICATED
- ◇ REMOVE LOW BRICK PLANTER
- ◇ REMOVE WALL MOUNTED AC UNIT
- ◇ REMOVE WOOD SIDING FROM ENTIRE FRONT ELEVATION WALL .
- ◇ REMOVE PLUMBING FIXTURES
- ◇ REMOVE EXISTING FINISH FLOOR DOWN TO EXISTING SLAB. CLEAN AND PREP SLAB FOR NEW FLOOR INSTALLATION
- ◇ REMOVE EXISTING STORAGE SHED
- ◇ REMOVE TOP OF EXISTING BILLBOARD POST FOOTING DOWN TO A MINIMUM 12" BELOW BOTTOM OF NEW SLAB
- ◇ REMOVE EXISTING CONC PAVING IN AREA OF NEW BUILDING ADDITION

**DEMO LEGEND**

- EXISTING 2X FRAMED STUD WALL TO REMAIN
- EXISTING 2X FRAMED STUD WALL TO REMAIN ABOVE AND BELOW REMOVED WINDOW
- EXISTING 2X FRAMED STUD WALL TO BE REMOVED



**FRONT ELEVATION DEMOLITION**



**DEMOLITION PLAN**

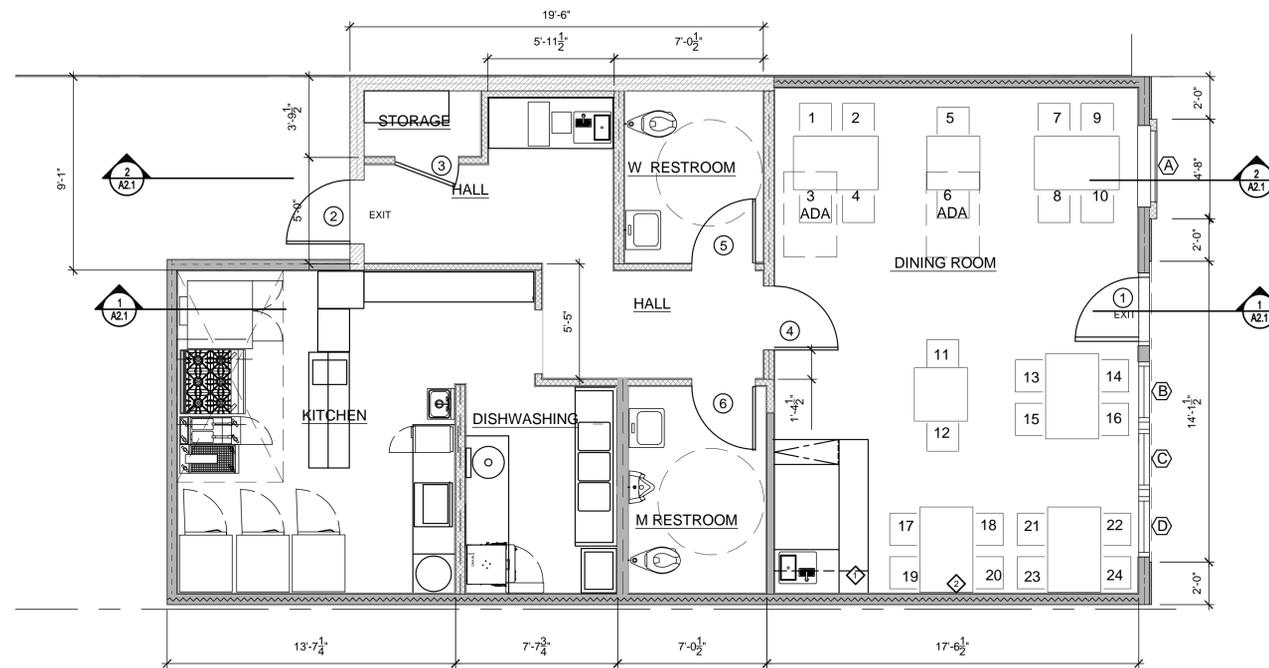
**CONSTRUCTION LEGEND**

- | SEE DET.: | SYMBOL: | DESCRIPTION:   |
|-----------|---------|--|
|           |         | EXISTING 2X4 STUD INTERIOR FRAMED PARTITION TO REMAIN                              |
|           |         | EXISTING 2X6 STUD INTERIOR FRAMED PARTITION TO REMAIN                              |
| 5<br>A5.1 |         | NEW 2X4 STUD INTERIOR FRAMED PARTITION,  |
| 4<br>A5.1 |         | NEW 2X 6 STUD FRAMED INTERIOR PARTITION, WITH NEW CONCRETE FOOTING WHERE BEARING   |
|           |         | EXISTING 2X STUD FRAMED EXTERIOR WALL TO REMAIN                                    |
| 3<br>A5.1 |         | EXISTING 2X STUD FRAMED EXTERIOR WALL TO REMAIN WITH MODIFIED EXTERIOR CLADDING    |
| 2<br>A5.1 |         | EXISTING 2X STUD FRAMED EXTERIOR WALL TO REMAIN WITH MODIFIED EXTERIOR CLADDING    |
| 1<br>A5.1 |         | NEW 2X6 STUD EXTERIOR WALL ON NEW CONCRETE FOOTING, 1 HR FIRE RATED CONSTRUCTION . |

ALL INTERIOR SURFACES TO RECEIVE NEW FINISHES PER FINISHES PLAN

**CONSTRUCTION KEY NOTES**

- ◇ PROVIDE POWER AND DATA CONNECTION FOR AV RECEIVER INTERNET , AND WAP
- ◇ PROVIDE POWER CABLE CONNECTION FOR VIDEO MONITOR. PROVIDE BACKING FOR MOUNTING BRACKET. VERIFY HGT IN FIELD PRIOR TO INSTALLATION



**CONSTRUCTION PLAN**

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SIGNATURE \_\_\_\_\_  
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 DRAWING TITLE  
**DEMOLITION PLAN  
 CONSTRUCTION PLAN**



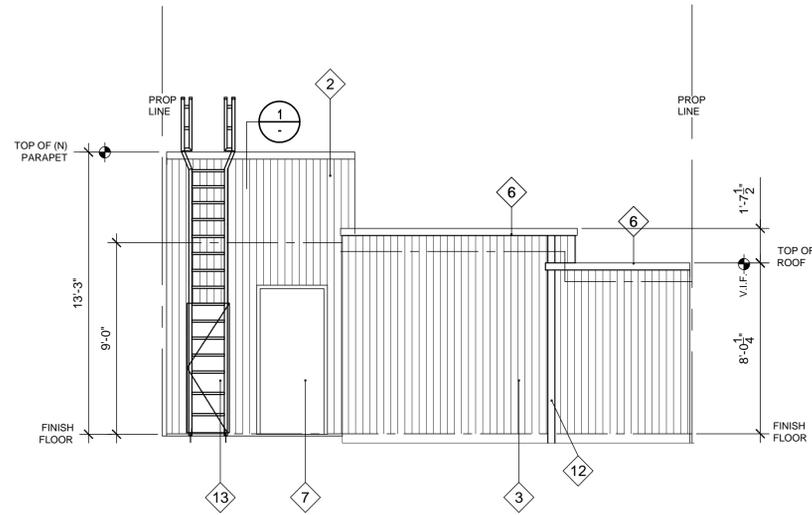
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DRAWN BY: JDF	DATE: 20 NOV 2017
DRAWING NO.	

**A1.2**

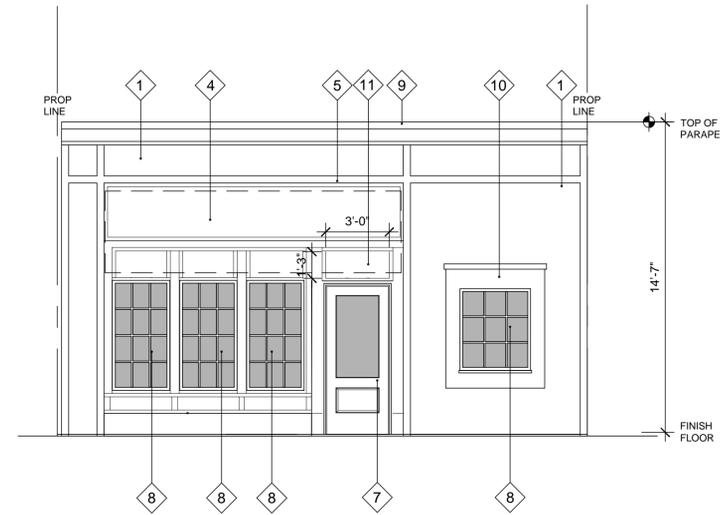


### ELEVATION KEY NOTES

- 1 NEW STUCCO O/ FRAMED WALL
- 2 METAL CLADDING O/ NEW FRAMED WALL
- 3 METAL CLADDING O/ EXISTING/ MODIFIED FRAMED WALL
- 4 EXTIRA MANUFACTURED WOOD PANEL CONSTRUCTION, PAINTED
- 5 CANVAS AWNING ( OMITTED FOR CLARITY) COLOR: HARTFORD GREEN
- 6 NEW RAIN GUTTER CONNECTS TO (E) DOWNSPOUT/ (E) CATCH BASIN
- 7 EXIT DOOR
- 8 FIXED GLASS WINDOW
- 9 PROJECTED STUCCO CORNICE
- 10 PROJECTED WINDOW BOX, WOOD OR FIBER CEMENT CLAD
- 11 PANEL OVER DOOR ONTO WHICH SIGN LETTERING IS PAINTED WITH GOLD LEAF. SHALL BE LIT WITH WALL WASHING LIGHTS CONCEALED IN AWNING
- 12 EXISTING DOWNSPOUT CONNECTS TO (E) SUB DRAINAGE SYSTEM
- 13 NEW ALUM. ROOF ACCESS LADDER W/ SECURITY COVER



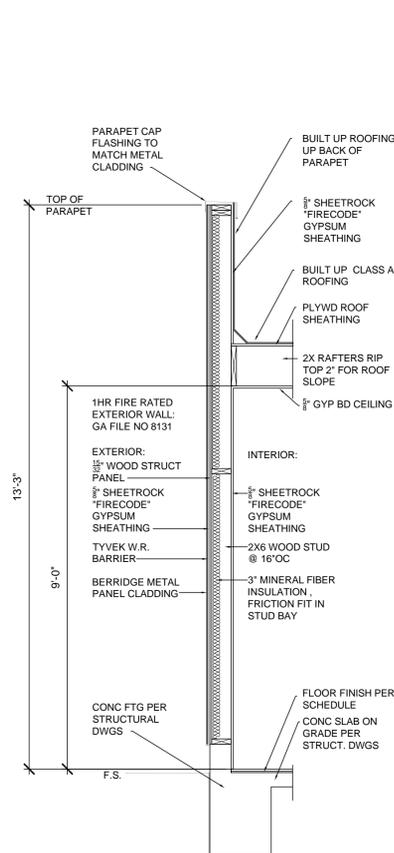
**SOUTH ELEVATION**



**STREET (NORTH) ELEVATION**

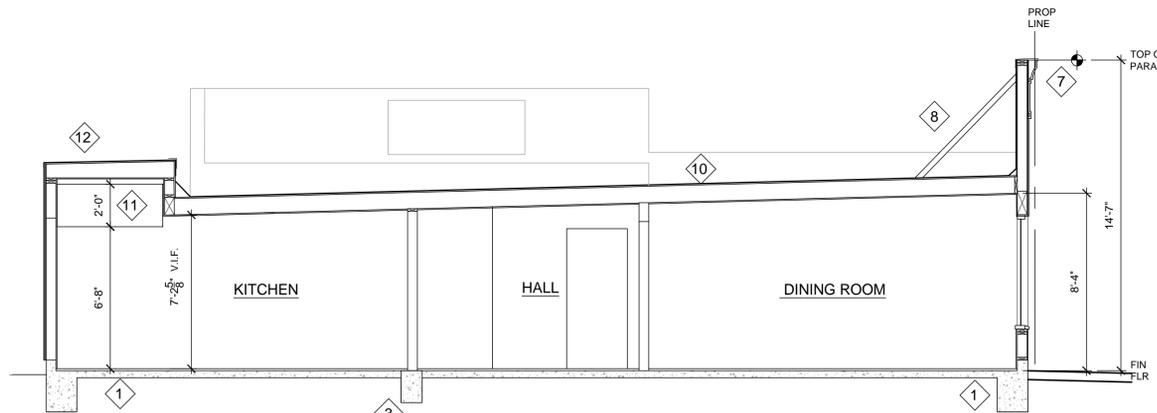
### SECTION KEY NOTES

- 1 EXIST FOOTING/ EXISTING SLAB TO REMAIN
- 2 NEW CONCRETE FOOTING AND 5" CONC. SLAB ON GRADE
- 3 NEW CONCRETE FOOTING TIE INTO (E) CONC SLAB
- 4 NEW ROOF RAFTERS/ PLYWOOD ON NEW CONSTRUCTION
- 5 NEW HVAC EQUIPMENT LOCATED ON NEW ROOF
- 6 NEW 2X6 FRAMED WALL 1 HR FIRE RATED
- 7 EXTEND EXISTING PARAPET UP TO HEIGHT INDICATED
- 8 STEEL DIAGONAL BRACING PER STRUCT DWGS
- 9 REDUCE EXISTING WINDOW PROJECTION. REPLACE WINDOW
- 10 NEW ROOF RAFTERS BEAR ON EXISTING FRAMED WALLS. MAINTAIN EXISTING TOP PLATE AND ROOF SLOPE ( 1/4" PER FOOT)
- 11 NEW EXHAUST HOOD
- 12 NEW FRAMED EXHAUST HOOD ENCLOSURE ON ROOF

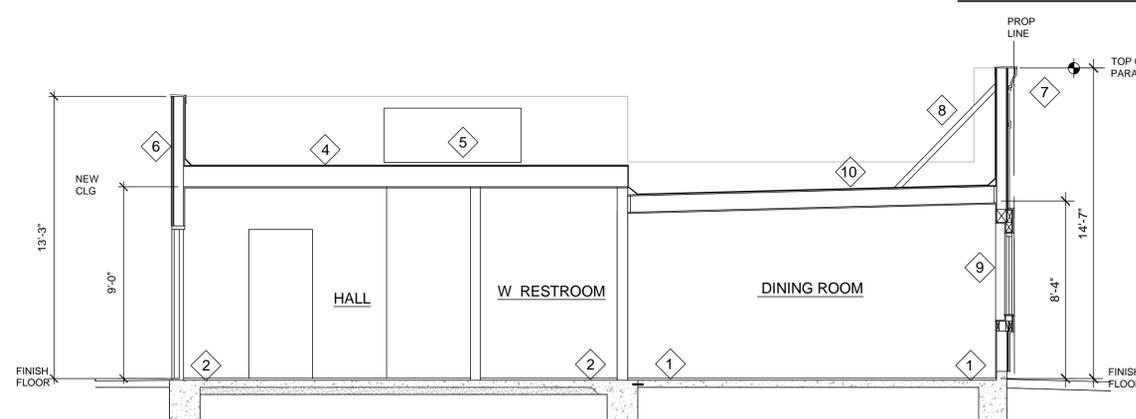


**1 ENLARGED SECTION THRU NEW EXTERIOR WALL**

SCALE: 1/2" = 1'-0"



**SECTION 1-1**



**SECTION 2-2**

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**SECTIONS  
 ELEVATIONS**

SCALE: 1/4" = 1'-0"	PROJECT NO. 1801
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DRAWING NO.	

**A2.1**

PAINTED STUCCO SHAPED CORNICE AT PARAPET TOP  
DUNN EDWARDS DEW382 "FADED GRAY"

SUNBRELLS "FOREST GREEN PLUS" CANVAS AWNING

CONCEALED WALL WASH DOWNLIGHTING UNDER AWNING

MANUFACTURED WOOD PANELING AROUND WINDOWS & DOOR PAINTED DUNN EDWARDS DE6939 "LEGENDARY GRAY"

POWDER COATED STEEL MULTIPANED WINDOWS TORRANCE STEEL WINDOW

PLANTER BOX UNDER WINDOWS

NEW PAINTED STUCCO OVER NEW & EXISTING WALL FRAMING. DUNN EDWARDS DEW382 "FADED GRAY"

SIGNAGE LOCATION: GOLD LEAF PAINTING ON PANEL OVER DOOR

MANUFACTURED WOOD TRIM AROUND WINDOW BOX PROJECTION

TRIMMED BOXWOOD HEDGE IN PLANTER BOX

NEW PERMANENT TREILLAGE STYLE SEATING BARRIER PEWTER GRAY POWDER COATED METAL

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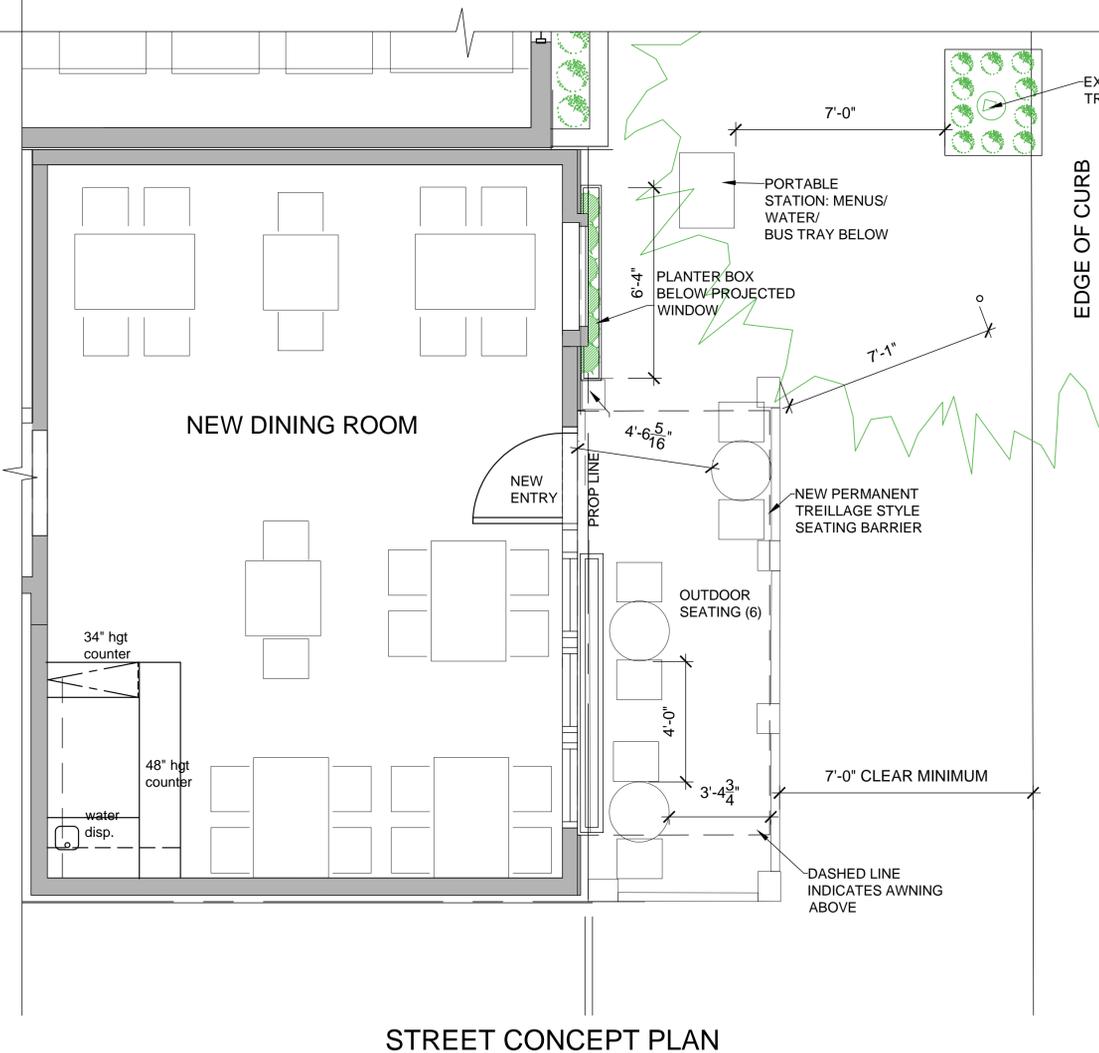
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DRAWING TITLE  
**STREET CONCEPT**



SCALE: 3/8" = 1'-0" PROJECT NO. 1404  
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DRAWING NO.

**A110**



STREET CONCEPT PLAN

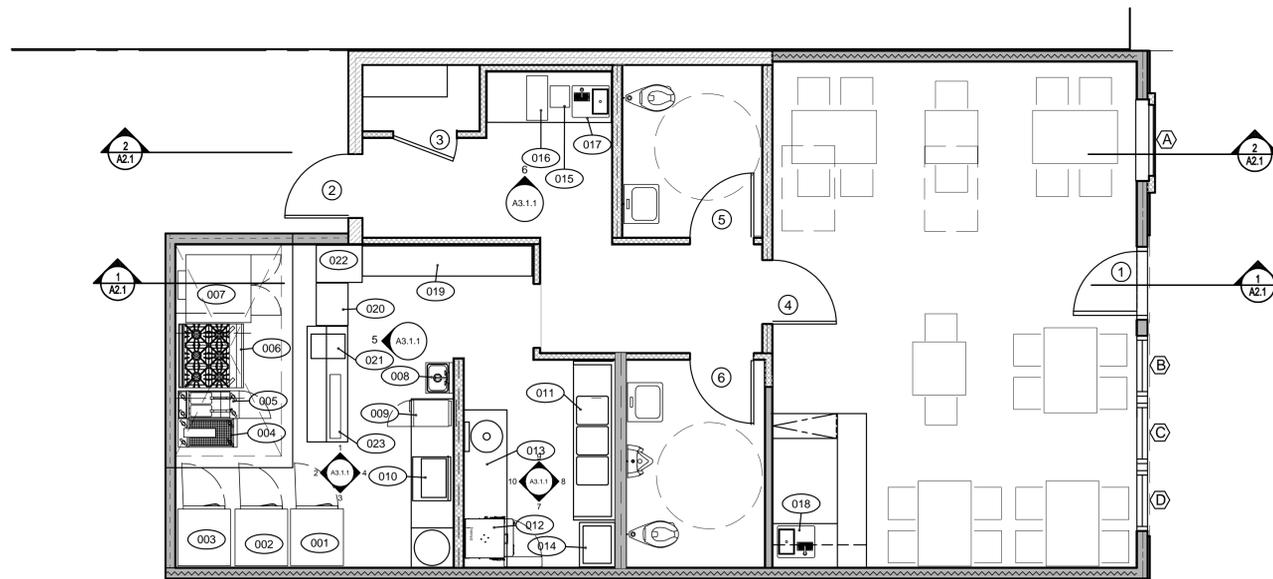


STREET CONCEPT SKETCHES

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FIXTURE AND EQUIPMENT SCHEDULE AND MECHANICAL REQUIREMENTS																					
ITEM	DESCRIPTION	MAKE	MODEL	QTY.	VOLTS	HP	KW	AMPS.	PHASE	CONVENIENCE	DIRECT	REMARKS	HOT (IN)	COLD (IN)	DIRECT WASTE (IN)	FLOOR SINK (IN)	GAS (IN)	MBTUH	REMARKS		
001	REACH IN REFRIGERATOR	TRAUlsen	RHT126WUT-FHS	1	120	1/3		8.0	1	X										SUPPLIED BY OWNER	
002	REACH IN REFRIGERATOR	TRAUlsen	RHT126WUT-FHS	1	120	1/3		8.0	1	X										SUPPLIED BY OWNER	
003	REACH IN FREEZER	TRAUlsen	RLT126WUT-FHS	1	120	1/3		11.5	1	X										SUPPLIED BY OWNER	
004	FRYER, DUMP STATION	PITCO	8NB-SG14	1	120			6.3	1	X											
005	FRYER, DEEP FAT, GAS W/FILTER	PITCO	1-SF-SG14C-S	1	(2)120				1	X							3/4	110		P.C. TO CONN. THRU QUICK DISCON. W/ CABLE RESTRAINT.	
006	RANGE	JADE PRODUCTS	JBR-6-36C	1	120	1/4		4.0	1	X									210	P.C. TO CONN. THRU QUICK DISCON. W/ CABLE RESTRAINT.	
007	CONVECTION OVEN	BLODGETT	BDO-100-G-ES	1	120	3/4		8.0	1	X							3/4	45		P.C. TO CONN. THRU QUICK DISCON. W/ CABLE RESTRAINT.	
008	HANDWASH SINK	ADVANCE TABCO	7-PS-60	1									1/2	1/2	1 1/2					DIRECT WASTE	
009	ICE MAKER	HOSHIZAKI	C-101BAH-AD	1	120			4.0	1	X			1/2								FS
010	PREP SINK	CUSTOM		1									1/2	1/2							FS
011	3 COMPARTMENT SCULLERY SINK	CUSTOM											1/2	1/2	1 1/2						DIRECT WASTE
012	WAREWASHING MACHINE	AUTO CHLOR	U34T	1	120			20.0	1	X			1/2		2						DIRECT WASTE
013	PRE RINSE SINK												3/4	3/4	2						DIRECT WASTE
014	MOP SINK												1/2	1/2	1 1/2						DIRECT WASTE
015	ESPRESSO MAKER	ILLY	60254	1	120			15	1	X											
016	COFFEE BREWER	BUNN	51100.0100	1	120			16.8						1/2							FS
017	ICE & WATER STATION	DELFIELD	204	1										1/2							FS
018	ICE & WATER STATION	DELFIELD	204	1										1/2							FS
019	STORAGE SHELVING	CAMBRO	CAMSHELVING	1 LOT																	
020	STORAGE SHELVING	CAMBRO	CAMSHELVING	1 LOT																	
021	DROP IN BAIN MARIE	WELLS	MOD100-120	1	120			13.75	1	X											NEMA 5-15P
022	TRAY STORAGE RACK																				
022	STRIP WARMER	HATCO	GRAH-36	1	120			6.7	1	X											NEMA 5-15P



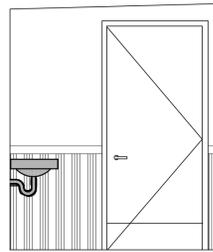
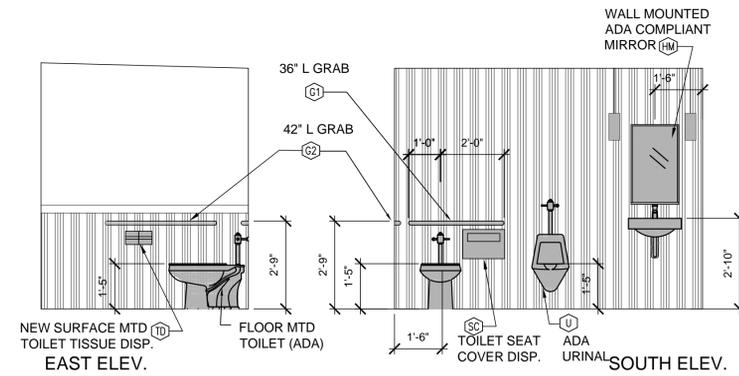
SIGNATURE \_\_\_\_\_  
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DRAWING TITLE  
**EQUIPMENT PLAN AND SCHEDULE**

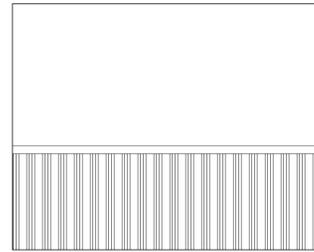
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 PROJECT NO. 1801  
 DATE:

**A3.1**

PROPOSED REMODEL AND ADDITION TO:  
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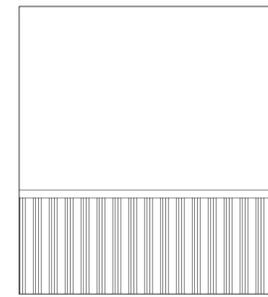
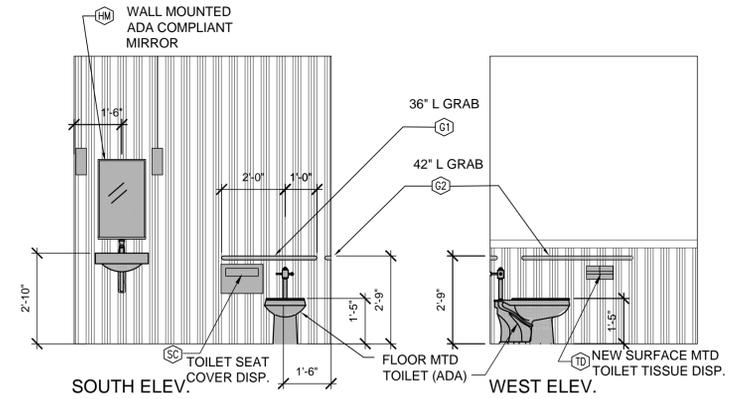


WEST ELEV.

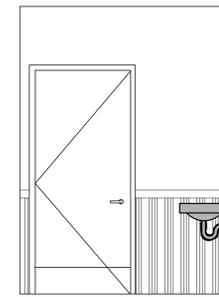


NORTH ELEV.

MEN'S RESTROOM



NORTH ELEV.



EAST ELEV.

WOMEN'S RESTROOM

**PLUMBING FIXTURE / ACCESSORY LEGEND**

PLUMBING FIXTURES				
SYMBOL	FIXTURE / ACCESSORY	MANUFACTURER	MODEL	NOTES
L	ADA-COMPLIANT / STANDARD LAVATORY	REFER TO PLUMBING PLANS	REFER TO PLUMBING PLANS	AT ADA-COMPLIANT MOUNTING RECOMMENDATIONS SEE PLUMBING PLANS FOR ADD'L SPECIFICATIONS PROVIDE CONCEALED ARM SYSTEM BY "ZURN PLUMBING PRODUCTS GROUP" (Z1231) OR APPROVED EQUAL WRAP PIPES BELOW LAVATORY WITH INSULATED SLEEVE
LF	LAVATORY FAUCET	REFER TO PLUMBING PLANS	REFER TO PLUMBING PLANS	SEE PLUMBING PLANS FOR ADD'L SPECIFICATIONS
T	ADA-COMPLIANT FLOOR-MOUNTED TOILET	REFER TO PLUMBING PLANS	REFER TO PLUMBING PLANS	SEE PLUMBING PLANS FOR ADD'L SPECIFICATIONS
U	URINAL	REFER TO PLUMBING PLANS	REFER TO PLUMBING PLANS	ADA-COMPLIANT MOUNTING RECOMMENDATIONS
ACCESSORIES				
G1	36"L GRAB BAR	BOBRICK	B-6806x36 OR APPROVED EQUAL	ADA-COMPLIANT MOUNTING RECOMMENDATIONS
G2	42"L GRAB BAR	BOBRICK	B-6806x42 OR APPROVED EQUAL	ADA-COMPLIANT MOUNTING RECOMMENDATIONS
SC	TOILET SEAT COVER, SURFACE-MOUNTED	BOBRICK	B-221 OR APPROVED EQUAL	ADA-COMPLIANT MOUNTING RECOMMENDATIONS
TD	TOILET TISSUE DISPENSER, SURFACE-MOUNTED	BOBRICK	B-2888 OR APPROVED EQUAL	ADA-COMPLIANT MOUNTING RECOMMENDATIONS

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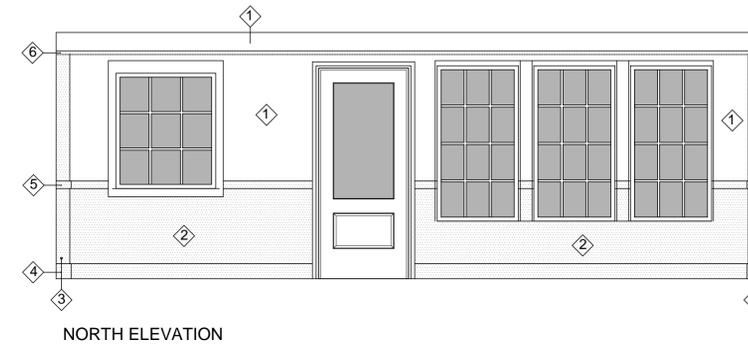
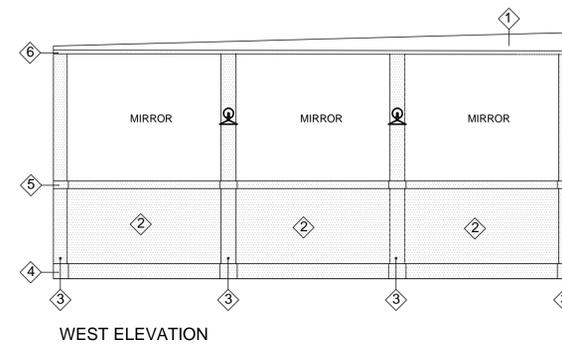
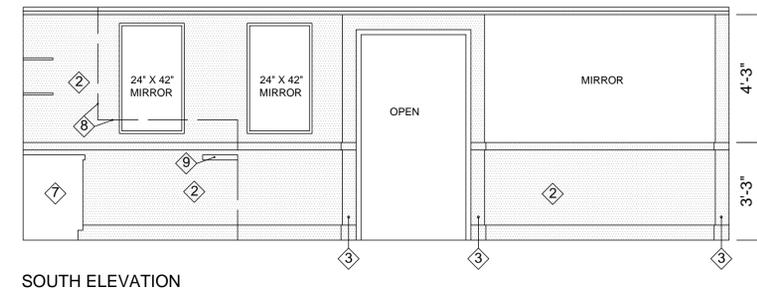
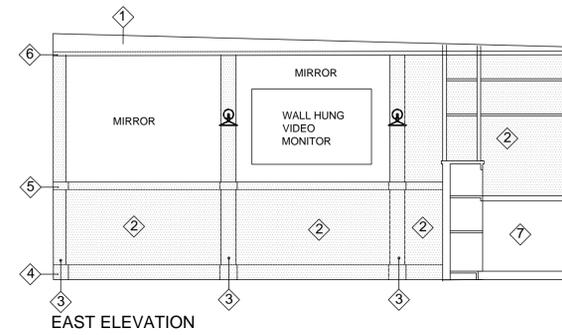
DRAWING TITLE  
**RESTROOMS  
 ENLARGED PLANS &  
 INTERIOR ELEVATIONS**

SCALE: 3/8" = 1'-0"  
 DRAWN BY: JDF  
 DRAWING NO. PROJECT NO. 1801  
 DATE:

**A3.2**

## INTERIOR ELEVATION KEY NOTES

- ① PAINTED GYP BOARD
- ② PAINTED 3/8" MDF OVER GYP. BOARD.
- ③ TYP 6" WIDE X 1" DEEP BUILT UP MDF PILASTER WITH PAINT FINISH
- ④ 6" HGT X 1/2" THK MDF BASE, PAINTED
- ⑤ 3" HGT X 1/2" THK CHAIR RAIL, PAINTED
- ⑥ 1 1/2" X 2" DEEP TOP LEDGE
- ⑦ BEVERAGE STATION
- ⑧ LINE OF BEVERAGE STATION IN FRONT OF WALL
- ⑨ LIFT UP COUNTER AT 34" ABOVE FINISH FLOOR



## DINING ROOM INTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

## FINISH PLAN NOTES

1. FINISHES INDICATED ARE APPLIED OVER WALL ASSEMBLIES AS SHOWN ON SHEET A5.1 UNLESS NOTED OTHERWISE.
2. AT DOORS TO RESTROOMS, TO DINING AND KITCHEN FROM HALL, PROVIDE 3/4" 1 PC MARBLE THRESHOLD.

## FINISH LEGEND

### FLOOR:

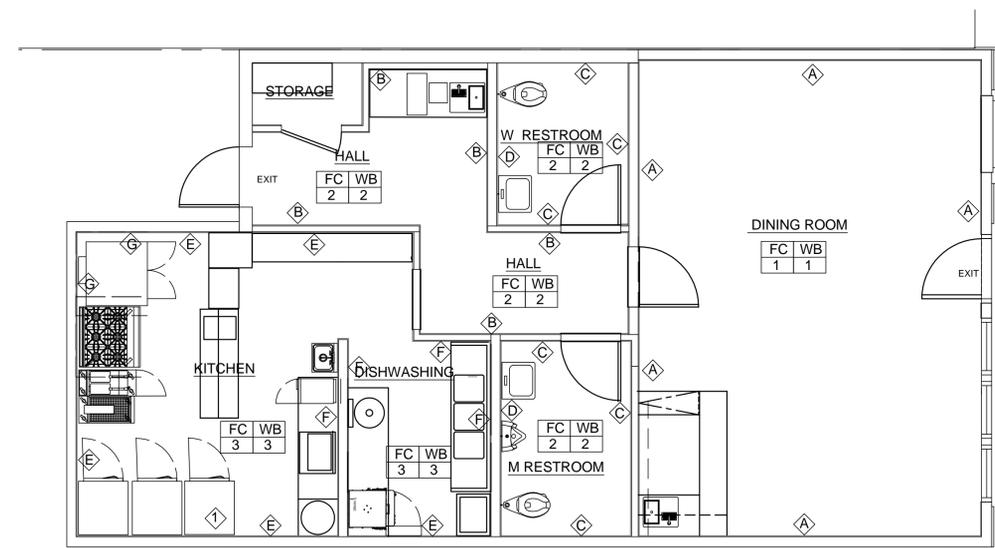
- FC  
1 "FRENCH GALERIE" ENGINEERED OAK PLANK "FRENCH CAFE OAK" RE1210 FROM NATIONAL HARDWOOD (nationalhardwood.com) OR APPROVED EQUAL
- FC  
2 DAL TILE "AMBASSADOR" SERIES 12X24 TILES COLOR AM34 "JET SETTER DUSK" RUNNING BOND PATTERN
- FC  
3 RECYCLED SHEET PVC FLOORING "ECO-GRIP" FROM ALLIED INDUSTRIES (ecogripfloor.com) INSTALLED PER MFRS INSTRUCTIONS. COLOR: "SLATE"

### WALL BASE:

- WB  
1 8" HGT X 1/2" THK MDF PAINTED WITH GLOSS FINISH TO MATCH WALL MATERIAL
- WB  
2 DAL TILE "AMBASSADOR" SERIES S-36C9T COVE BASE TILES, 6X12, COLOR AM34 "JET SETTER DUSK"
- WB  
3 6" HGT ECO-GRIP PVC SHEET W/3/8" R COVE INSTALLED PER MFRS INSTRUCTIONS

### WALL:

- A 3/8" PAINTED MDF, MIRROR AND BUILT UP MDF PILASTERS, AND EXPOSED GYP BOARD PER DINING ROOM ELEVATIONS THIS SHEET
- B 39" HGT 3/8" PAINTED MDF, INCLUDING 3" HGT CHAIR RAIL, EXPOSED PAINTED GYP BOARD ABOVE TO CEILING
- C DAL TILE "AMBASSADOR" SERIES RANDOM LINEAR MOSAIC TILES COLOR AM334 "JET SETTER DUSK" LAID VERTICALLY TO 39" HGT W/ EXPOSED PAINTED GYP BOARD ABOVE
- D DAL TILE "AMBASSADOR" SERIES RANDOM LINEAR MOSAIC TILES COLOR AM334 "JET SETTER DUSK" LAID VERTICALLY FULL HGT OF WALL
- E DURAMAX "TRUSSCORE" INTERLOCKING PVC WALL LINER PANELS (duramaxbp.com) INSTALLED PER MFRS INSTRUCTIONS
- F DURAMAX "TRUSSCORE" INTERLOCKING PVC WALL LINER PANELS (duramaxbp.com) INSTALLED PER MFRS INSTRUCTIONS. OMIT GYP BOARD ON WALL AND APPLY PANELS DIRECTLY ON STUDS.
- G 18 GA STAINLESS STEEL SHEETS INSTALLEED OVER GYP BD FROM TOP OF BASE TO BOTTOM OF EXHAUST HOOD FOR ENTIRE LENGTH OF HOOD



## INTERIOR FINISH PLAN

SCALE: 1/4" = 1'-0"

PROPOSED REMODEL AND ADDITION TO:  
**MISTRAL RESTAURANT**  
 13420 VENTURA BLVD  
 SHERMAN OAKS, CA 91423

NO.	DATE	ISSUE OR REVISION
	03-20-2018	DESIGN DEVELOPMENT SE

SIGNATURE

JIM FRY, AIA  
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 818-752-4500

DRAWING TITLE  
**DINING ROOM  
 INTERIOR  
 ELEVATIONS**

INTERIOR FINISH  
 PLAN/ SCHEDULE

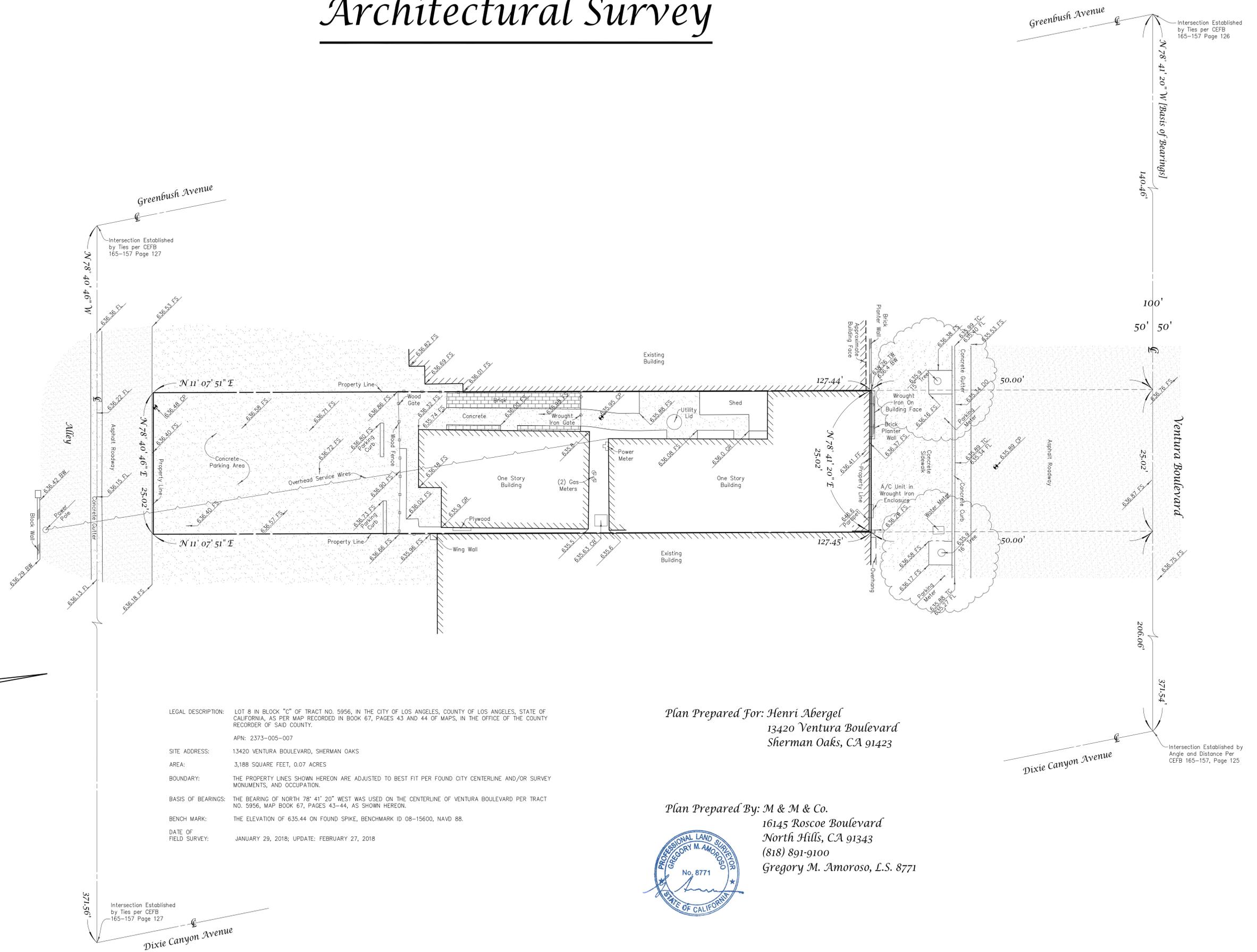
SCALE: AS NOTED	PROJECT NO. 1801
DRAWN BY: JDF	DATE:
DRAWING NO.	

**A3.3**





# Architectural Survey



Scale: 1" = 8'

### Legend

- FF = Finished Floor
- FS = Finished Surface
- FL = Flowline
- DO = Drain Outlet
- CB = Catch Basin
- BW = Bottom of Wall
- TW = Top of Wall
- TC = Top of Curb
- CP = Control Point
- A/C = Air Conditioner

Note: Hatch Patterns and Tree Drip Lines Are Not to Scale

LEGAL DESCRIPTION: LOT 8 IN BLOCK "C" OF TRACT NO. 5956, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 67, PAGES 43 AND 44 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 2373-005-007

SITE ADDRESS: 13420 VENTURA BOULEVARD, SHERMAN OAKS

AREA: 3,188 SQUARE FEET, 0.07 ACRES

BOUNDARY: THE PROPERTY LINES SHOWN HEREON ARE ADJUSTED TO BEST FIT PER FOUND CITY CENTERLINE AND/OR SURVEY MONUMENTS, AND OCCUPATION.

BASIS OF BEARINGS: THE BEARING OF NORTH 78° 41' 20" WEST WAS USED ON THE CENTERLINE OF VENTURA BOULEVARD PER TRACT NO. 5956, MAP BOOK 67, PAGES 43-44, AS SHOWN HEREON.

BENCH MARK: THE ELEVATION OF 635.44 ON FOUND SPIKE, BENCHMARK ID 08-15600, NAVD 88.

DATE OF FIELD SURVEY: JANUARY 29, 2018; UPDATE: FEBRUARY 27, 2018

Plan Prepared For: *Henri Abergel*  
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