

APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

		THIS BOX FOR C	ITY PLANNII	NING STAFF USE ONLY	
Ca	se Number				_
Env. Case Number					_
Ар	plication Type				
Ca	se Filed With (Print Name			Date Filed	_
Apı	plication includes letter reque	sting:			
	Waived hearing	☐ Concurrent hearing Related Case Number	☐ Hearin	ring not be scheduled on a specific date (e.g. vacation hold)	
1.		in this document are applicable	to the singula	te or inconsistent information will cause delays. ular as well as the plural forms of such terms. found on form CP-7810	
	Street Address ¹			Unit/Space Number	_
					_
				Total Lot Area	_
2.	PROJECT DESCRIPTION				
					_
					_
	Describe in detail the	characteristics, scope and/or	operation c	n of the proposed project	-
	Additional information Complete and check a		□ NO		=
	Existing Site Condi	tions			
		ed or unimproved (i.e. vacan	t)	☐ Site is located within 500 feet of a freeway or railro	ad
	•	buildings (provide copies of b	•	☐ Site is located within 500 feet of a sensitive use (e. school, park)	
	hazardous matei	oped with use that could release ials on soil and/or groundwates station, auto repair, industria	er (e.g.	☐ Site has special designation (e.g. National Historic Register, Survey LA)	

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—http://zimas.lacity.org) ² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information		☐ Removal of protected trees on site or in the public right of way		on site or in the	
(Check all that apply or could ap			•		
☐ Demolition of existing building	_			square feet	
☐ Relocation of existing building	gs/structures	☐ Accessory	use (fence, sign, w	rireless, carport, etc.)	
☐ Interior tenant improvement		☐ Exterior re	novation or alteration	on	
☐ Additions to existing buildings	3	☐ Change of	use and/or hours of	f operation	
☐ Grading		☐ Haul Route	☐ Haul Route		
☐ Removal of any on-site tree		☐ Uses or str	ructures in public riç	ght-of-way	
☐ Removal of any street tree		☐ Phased pro	oject		
Housing Component Informati	<u>on</u>				
Number of Residential Units:	Existing	Demolish(ed) ³	+ Adding	= Total	
Number of Affordable Units ⁴	Existing	Demolish(ed)	+ Adding	= Total	
Number of Market Rate Units	Existing	Demolish(ed)	+ Adding	= Total	
Mixed Use Projects, Amount of N	Non-Residential Floor A	rea:		square feet	
Public Right-of-Way Information	<u>on</u>				
Have you submitted the Planning Is your project required to dedication If you have dedication requirements.	ate land to the public rig	ght-of-way? □ YES ft.	□ NO		
ACTION(S) REQUESTED					
Provide the Los Angeles Municip Section or the Specific Plan/Overla	` ,		• •	,	
Does the project include Multiple	Approval Requests per	LAMC 12.36?	□ YES □	NO	
Authorizing Code Section					
Code Section from which relief	is requested (if any):				
Action Requested, Narrative:					
Authorizing Code Section Code Section from which relief	is requested (if any).				
Action Requested, Narrative:					
Action Requested, Nametive.					
Additional Requests Attached	□ YES □	NO			

3.

Number of units to be demolished and/or which have been demolished within the last five (5) years.
 As determined by the Housing and Community Investment Department

4.		RELATED DEPARTMENT OF CITY PLANNING CASES Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO						
		Est, list all case number(s)						
		the <u>application/project</u> is directly related to one male mplete/check all that apply (provide copy).	e of the above cases, list the pertinent cas	e numbers b	elow and			
	C	ase No.	Ordinance No.:					
		Condition compliance review	☐ Clarification of Q (Qualified) classification	cation				
		Modification of conditions	☐ Clarification of D (Development Lim	itations) class	sification			
		Revision of approved plans	☐ Amendment to T (Tentative) classifi	cation				
		Renewal of entitlement						
		Plan Approval subsequent to Master Condition	nal Use					
	Fo	r purposes of environmental (CEQA) analysis, is	s there intent to develop a larger project?	☐ YES	□ NO			
	На	ve you filed, or is there intent to file, a Subdivisi	on with this project?	☐ YES	□ NO			
	If Y	'ES, to either of the above, describe the other pa	arts of the projects or the larger project below, v	vhether or not	currently			
	file	d with the City:						
5.		RELATED DOCUMENTS / REFERRALS To help assigned staff coordinate with other Departments that may have a role in the proposed project, please provide						
	a c	copy of any applicable form and reference numb	per if known.		-			
	a.	Specialized Requirement Form						
	b.	Geographic Project Planning Referral						
	C.	Citywide Design Guidelines Compliance Review	ew Form					
	d.	Affordable Housing Referral Form						
	e.	. Mello Form						
	f.	Unpermitted Dwelling Unit (UDU) Inter-Agency Referral Form						
	g.	. HPOZ Authorization Form						
	h.	. Management Team Authorization						
	i.	Expedite Fee Agreement						
	j.	Department of Transportation (DOT) Referral	Form					
	k.	Preliminary Zoning Assessment Referral Form	1					
	I.	SB330 Preliminary Application						
	m.	n. Bureau of Engineering (BOE) Planning Case Referral Form (PCRF)						
	n.							
	Ο.	Building Permits and Certificates of Occupance	zy					
	p.	Hillside Referral Form (BOE)						
	q.	Low Impact Development (LID) Referral Form						
	r.	SB330 Determination Letter from Housing and	·					
	s.	Are there any recorded Covenants, affidavits of	or easements on this property? ☐ YES (p	provide copy)	□ NO			

PROJECT TEAM INFORMATION (Complete all app	olicable fields)	
Applicant ⁵ name		
Company/Firm		
Address:		Unit/Space Number
City	State	Zip Code:
Telephone	E-mail:	
Are you in escrow to purchase the subject pro	perty? YES	□ NO
Property Owner of Record ☐ Same a	s applicant Differe	nt from applicant
Name (if different from applicant)		
Address		Unit/Space Number
City	State	Zip Code:
Telephone	E-mail:	
		Unit/Space Number
Company/Firm		
City	State	Zip:
Telephone	E-mail:	
Other (Specify Architect, Engineer, CEQA Co Name Company/Firm		
		Unit/Space Number
		Zip Code:
Telephone		
Primary Contact for Project Information	☐ Owner	☐ Applicant
Primary Contact for Project Information (select only one)	☐ Owner☐ Agent/Representative	☐ Applicant ☐ Other

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).

PROPERTY OWNER

- 7. PROPERTY OWNER AFFIDAVIT. Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.
 - Ownership Disclosure. If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
 - Letter of Authorization (LOA). A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of privace ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
 - Grant Deed. Provide a Copy of the Grant Deed If the ownership of the property does not match City Records
 and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the
 ownership listed on the application.
 - Multiple Owners. If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.
 - a. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
 - b. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
 - c. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
 - By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

Property Owner's signatures must be signed/notarized in the presence of a Notary Public.

The City requires an original signature from the property owner with the "wet" notary stamp.

A Notary Acknowledgement is available for your convenience on following page.

Signature	Date10/19/2021
Print Name CHRIS GEORGE	
Signature	Date
Print Name	

Space Below For Notary's Use

California All-Purpose Acknowledgement	Civil Code ' 1189
	tificate verifies only the identity of the individual who signed the of the truthfulness, accuracy, or validity of that document.
State of California	
County of Los Angeles	_
on October 22,2021 before me,	Maria Valle, Notary public (Insert Name of Notary Public and Title)
personally appeared Chris	s George , who
proved to me on the basis of satisfactory evidence t instrument and acknowledged to me that lackshe/they of	o be the person(s) whose name(s) (s) are subscribed to the within executed the same in ks/her/their authorized capacity(ies), and that erson(s), or the entity upon behalf on which the person(s) acted
I certify under PENALTY OF PERJURY under the law correct.	s of the State of California that the foregoing paragraph is true and
WITNESS my hand and official seal.	\
UD 5* Signature	(Seal) MARIA VALLE Notary Public - California Los Angeles County Commission # 2353127
	My Comm. Expires Mar 27, 2025

APPLICANT

- APPLICANT DECLARATION. A separate signature from the applicant, whether they are the property owner or not, attesting
 to the following, is required before the application can be accepted.
 - a. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
 - b. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
 - c. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required. .
 - d. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
 - I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally,
 I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing
 arguments for or against a request.
 - f. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
 - g. I understand that if this application is denied, there is no refund of fees paid.
 - i. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
 - i. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The	annlicant's signature below does not need to be notarize
The end redement an original digitation from the applicant. The	applicant a signature below toos not need to be notalize
Signature: S. Any	Date:10/19/2021
Print Name: SAM HABESYAN	

OPTIONAL

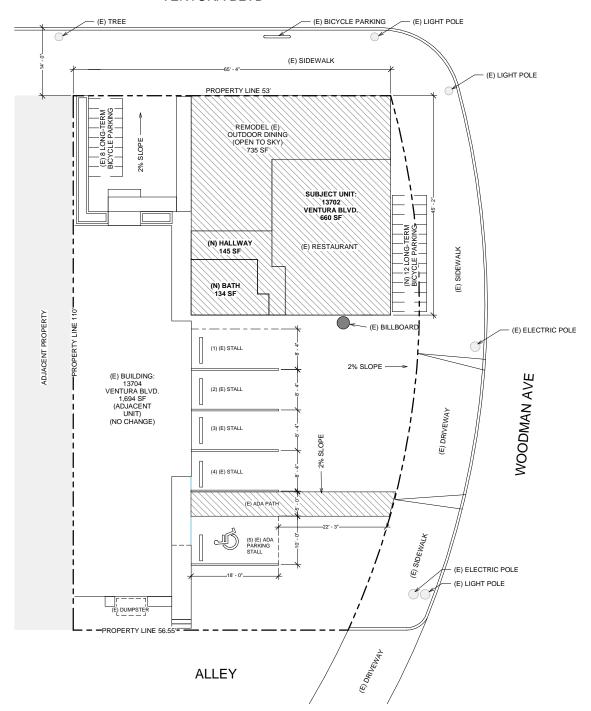
NEIGHBORHOOD CONTACT SHEET

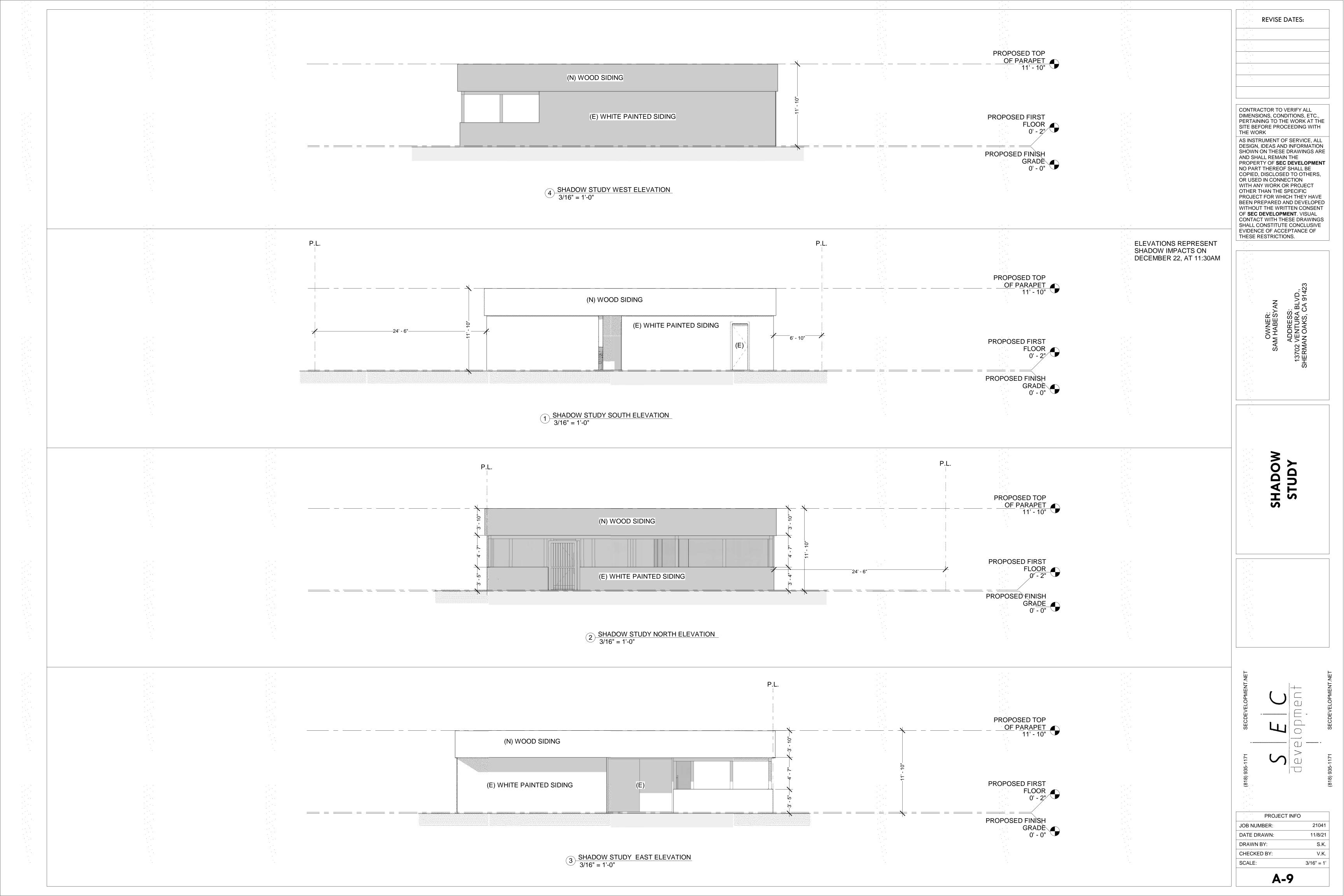
9.	SIGNATURES of adjoining or neighboring property owners in support of the request are not required but are helpful.
	especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if
	necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

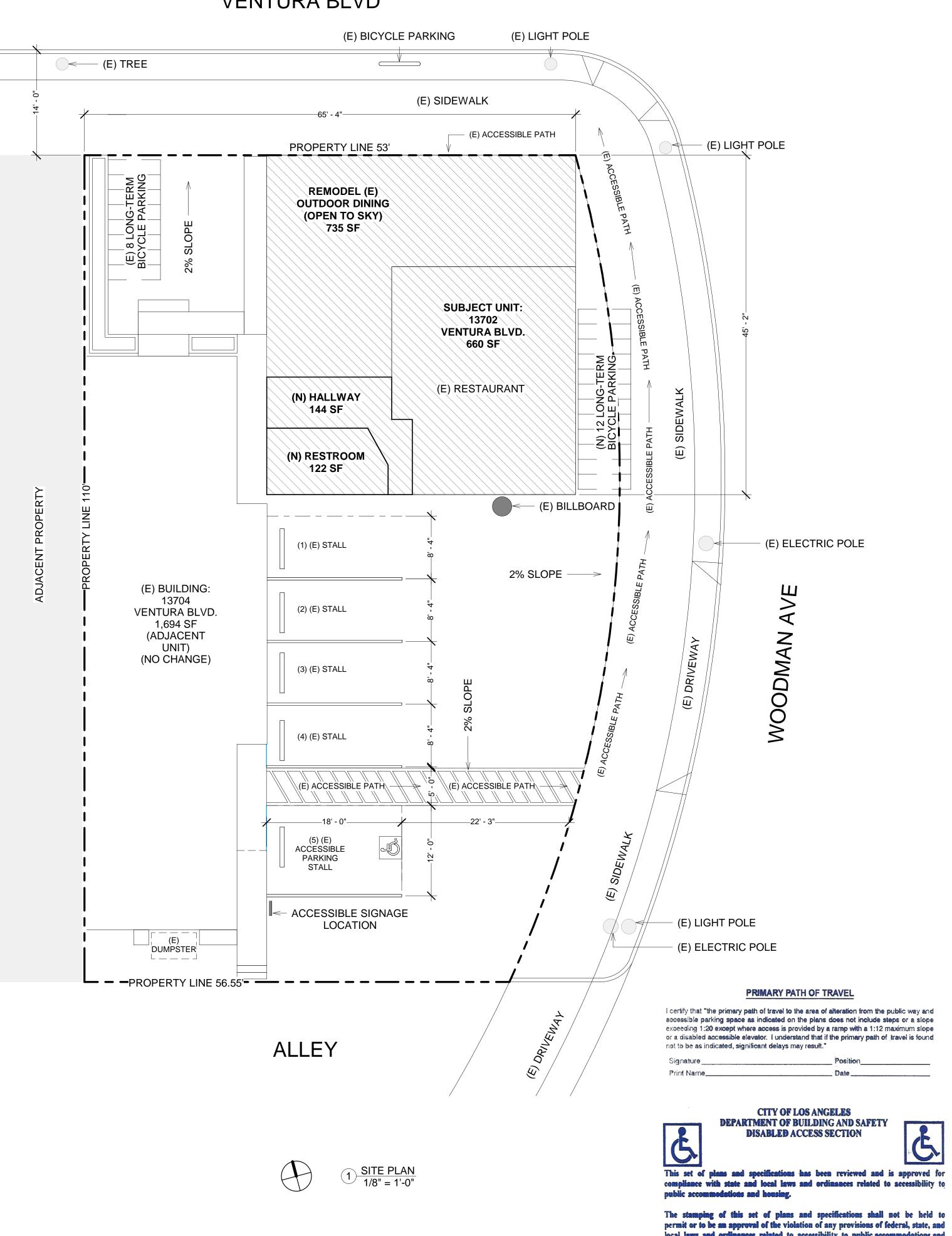
or separately, any contact you have had with the Neighborhood Council or other community groups, business association and/or officials in the area surrounding the project site (attach additional sheets if necessary).		

VENTURA BLVD





VENTURA BLVD



Date: 04/27/2022

21016-20000-07780

PROJECT INFORMATION		
ZONING DESIGNATION:	C2-1VL	
OCCUPANCY:	GENERAL COMMERCIAL A-2	
CONSTRUCTION TYPE:	TYPE-VB	
FIRE SPRINKLERED:	NO	
LOT SIZE:	7,334.9 SF	
(E) OUTDOOR DINING (OPEN TO SKY) (TRELLIS)	735 SF	
(E) BUILDING:	1,694 SF	
(E) UNIT SIZE:	660 SF	
ADDITION TO (E) UNIT SIZE:	266 SF	
FLOOR AREA CALCULATIONS:	660 SF + 266 SF + 1,694 SF = 2,620 SF TOTAL 7,334.9 SF LOT = 36% < 45% ALLOWED	
LOT COVERAGE CALCULATIONS:	660 SF + 266 SF + 1,694 SF + 735 SF = 3,368 SF TOTAL 7,334 SF LOT = 45% < 50% ALLOWED	
NUMBER OF STORIES:	1	
BUILDING HEIGHT:	11' - 10"	
HIGH FIRE ZONE:	NO	
HILLSIDE ZONE:	NO	
METHANE ZONE:	NO	
LIQUEFACTION:	NO	

LEGAL DESCRIPTION				
ADDRESS:	13702 VENTURA BLVD. SHERMAN OAKS, CA 91423			
TRACK:	TR-4954			
LOT:	FR 8			
BLOCK:	Н			
APN:	2266020009			

ADDITIONAL	L PARKING ANALYSIS
SPECIFIC PLAN	1/100
REQUIRED	279SF/100 = 3 STALLS REQUIRED
PROVIDED	12 LONG TERM BICYCLE PARKING PROVIDED

(E) PAR	KING SUMMARY
SPACES EXISTING:	5 ON SITE, 10 OFFSITE
LONG TERM BICYCLE PARKING EXISTING:	8 STALLS

	SHEET INDEX
	A-1 - SITE PLAN
	A-2 - EXISTING ROOF PLAN
	A-3 - EXISTING & DEMO FLOOR PLAN
	A-4 - PROPOSED FLOOR PLAN
	A-5 - ENLARGED RESTROOM PLAN
	A-6 - PROPOSED CEILING PLAN & EGRESS PLAN
	A-7 - EXISTING ELEVATIONS
	A-8 - PROPOSED ELEVATIONS
	A-9 - SHADOW ELEVATIONS STUDY
	A-10 - SECTIONS
	A-11 - DETAILS & FIRE & SOUND RATED WALLS
-	A-12 - GENERAL NOTES
	A-13 - ACCESSIBILITY DETAILS
	A-14 - ACCESSIBILITY NOTES
	A-15 - ACCESSIBILITY NOTES
	A-16 - GREEN FORMS
	A-17 - SPECIFICATIONS
	A-18 - UNIVERSAL WASTE FACT SHEET

SCOPE OF WORK
- REMODEL (E) OUTDOOR DINING - 266 SF ADDITION TO (E) RESTAURANT WHICH INCLUDES: (N) 144 SF HALLWAY & (N) 122 SF RESTROOM.
OCCUPANCY LOAD

735 SF / 15 = 49 TOTAL OCCUPANTS

266 / 2,354 = 11% AREA INCREASE

1. TOW-AWAY SIGN REQUIRED ON

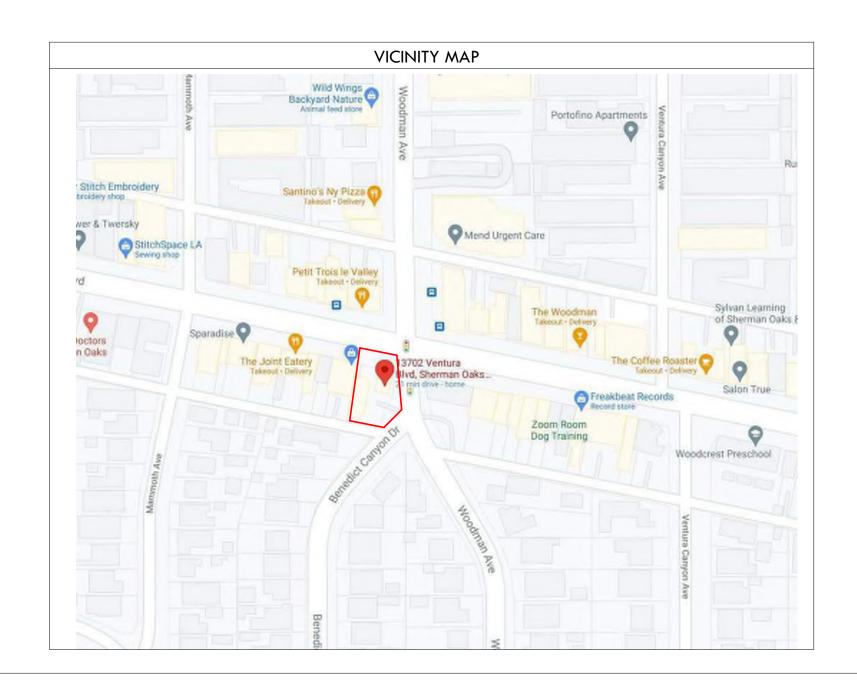
ADDITIONAL FLOOR ANALYSIS

660 SF + 1,694 SF = 2,354 SF TOTAL (E) AREA

APPLICABLE CODES:

ALL ENTRANCES.

2020 CBC, 2020 CBCMC, 2020 CBCPC, 2020 CBCEC, 2020 CBCGBC & ENERGY STANDARDS





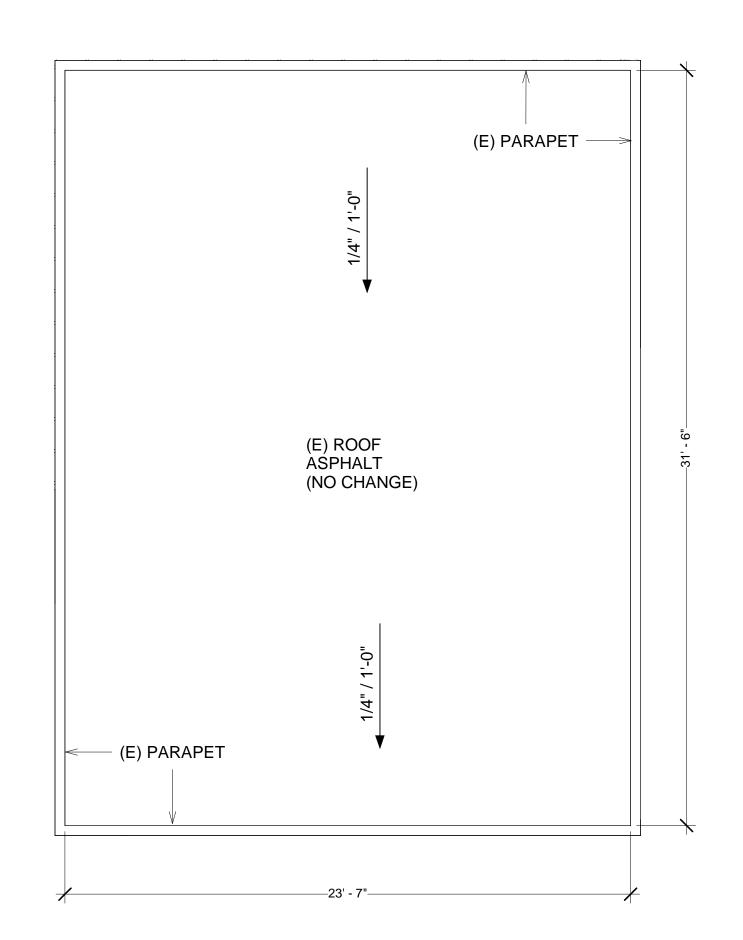
DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH

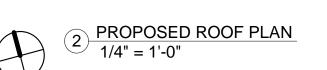
AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF **SEC DEVELOPMENT**. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

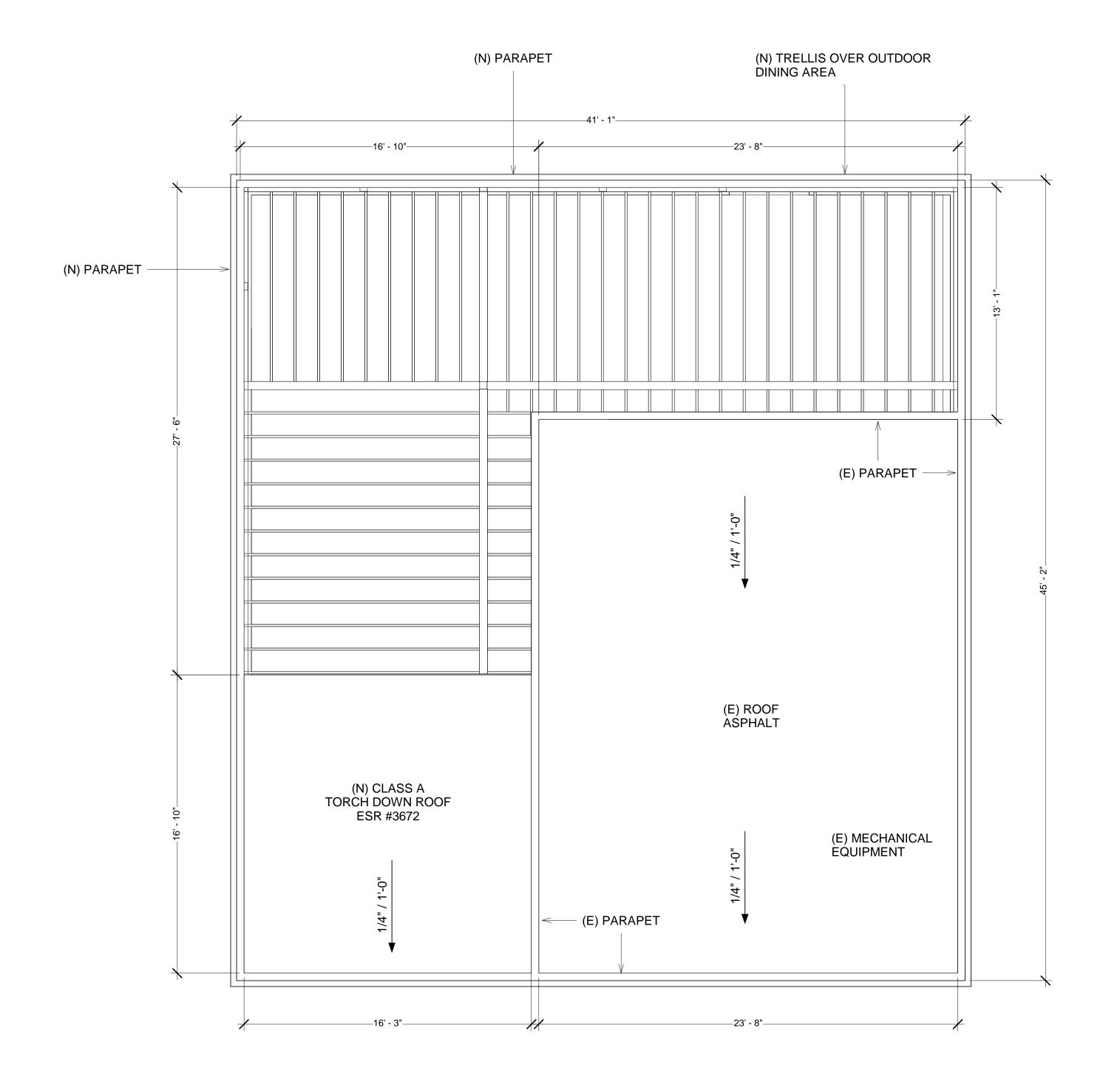
> ADDRESS: 13702 VENTURA BLVD., HERMAN OAKS, CA 91423 OWNER: SAM HABESYAN

> > 7 SITE

PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: DRAWN BY: S.T. V.K. CHECKED BY: 1/8" = 1' SCALE: OMC







REVISE DATES:

CONTRACTOR TO VERIFY ALL
DIMENSIONS, CONDITIONS, ETC.,
PERTAINING TO THE WORK AT THE
SITE BEFORE PROCEEDING WITH THE WORK

AS INSTRUMENT OF SERVICE, ALL
DESIGN, IDEAS AND INFORMATION
SHOWN ON THESE DRAWINGS ARE
AND SHALL REMAIN THE
PROPERTY OF SEC DEVELOPMENT
NO PART THEREOF SHALL BE
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OTHER THAN THE SPECIFIC
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BEEN PREPARED AND DEVELOPED

BEEN PREPARED AND DEVELOPED
WITHOUT THE WRITTEN CONSENT
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CONTACT WITH THESE DRAWINGS
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EVIDENCE OF ACCEPTANCE OF
THESE RESTRICTIONS.

ADDRESS: 13702 VENTURA BLVD., SHERMAN OAKS, CA 91423

PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: S.T. DRAWN BY: CHECKED BY: V.K. 1/4" = 1' SCALE:

1 3'-6" 7'-10 1/2" SWING ALUMINIUM GLASS YES 1 0.29 0.32 2 3'-0" 6'-8" SWING WOOD WOOD NO 2 N/A N/A	-										
1 3'-6" 7'-10 1/2" SWING ALUMINIUM GLASS YES 1 0.29 0.32 2 3'-0" 6'-8" SWING WOOD WOOD NO 2 N/A N/A						EXIS	TING DOOR SC	HEDULE			
2 3'-0" 6'-8" SWING WOOD WOOD NO 2 N/A N/A		MARK	WIDTH	HEIGHT	OPERATION	FRAMING	MATERIAL	TEMPERED	QUANTITY	U-FACTOR	SHGC
		1	3'-6"	7'-10 1/2"	SWING	ALUMINIUM	GLASS	YES	1	0.29	0.32
		2	3'-0"	6'-8"	SWING	WOOD	WOOD	NO	2	N/A	N/A
3 2'-4" 6'-8" SWING WOOD NO 1 N/A N/A		3	2'-4"	6'-8"	SWING	WOOD	WOOD	NO	1	N/A	N/A

	EXISTIN	G CURTAIN	WALL SCHEDUI	.E
MARK	WIDTH	HEIGHT	U-FACTOR	SHGC
1	11'-5"	7"-10"	0.30	0.25
2	23'-2"	7'-10"	0.30	0.25
3	9'-6"	7'-10"	0.30	0.25

	LEGEN	D
DEMO WALL (2X4)		

REVISE DATES:

CONTRACTOR TO VERIFY ALL

THE WORK

DIMENSIONS, CONDITIONS, ETC.,
PERTAINING TO THE WORK AT THE
SITE BEFORE PROCEEDING WITH

AS INSTRUMENT OF SERVICE, ALL
DESIGN, IDEAS AND INFORMATION
SHOWN ON THESE DRAWINGS ARE
AND SHALL REMAIN THE
PROPERTY OF SEC DEVELOPMENT
NO PART THEREOF SHALL BE
COPIED, DISCLOSED TO OTHERS,
OR USED IN CONNECTION
WITH ANY WORK OR PROJECT
OTHER THAN THE SPECIFIC
PROJECT FOR WHICH THEY HAVE

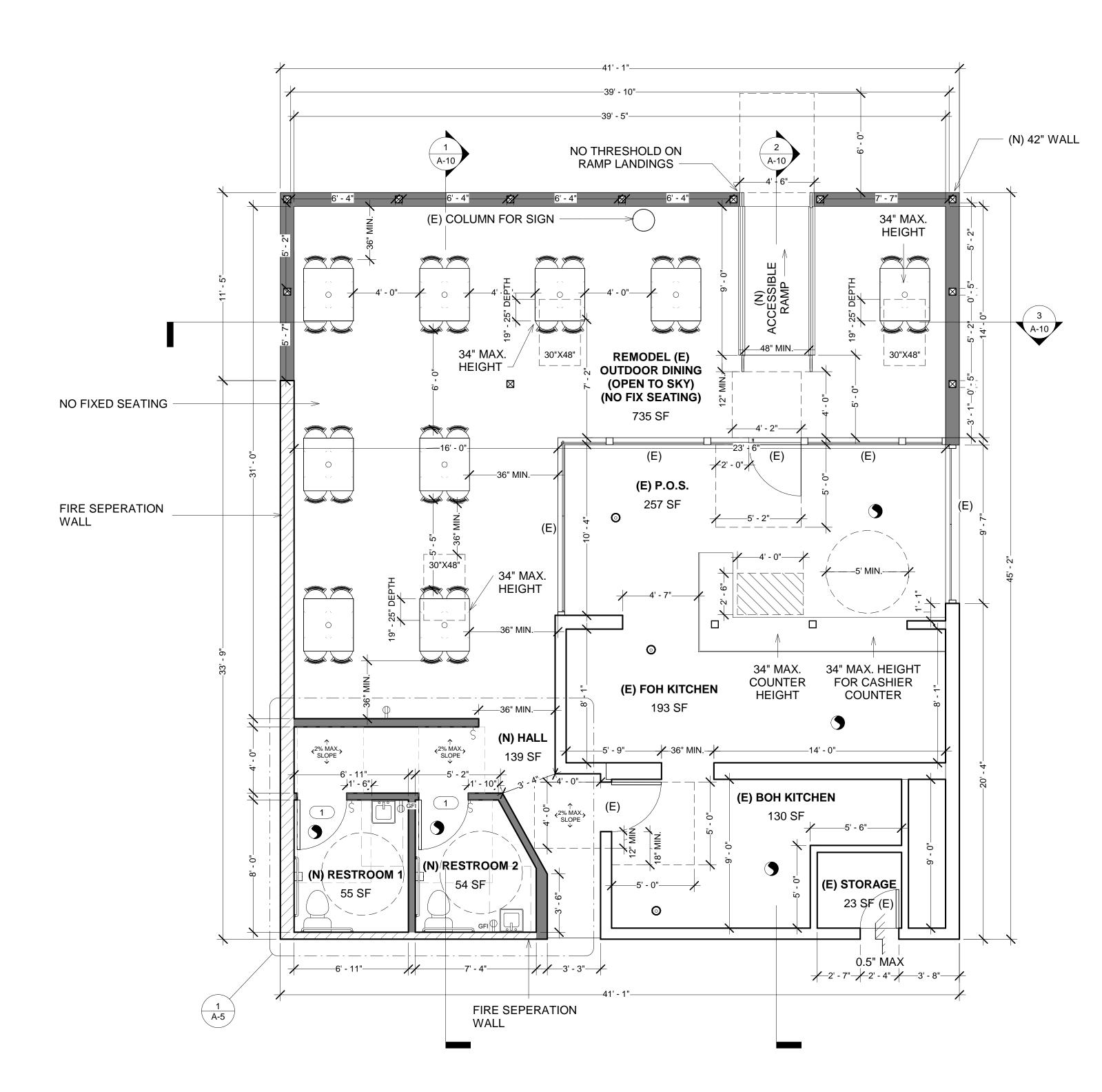
PROJECT FOR WHICH THEY HAVE
BEEN PREPARED AND DEVELOPED
WITHOUT THE WRITTEN CONSENT
OF SEC DEVELOPMENT. VISUAL

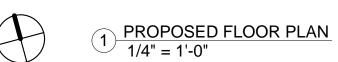
CONTACT WITH THESE DRAWINGS
SHALL CONSTITUTE CONCLUSIVE
EVIDENCE OF ACCEPTANCE OF
THESE RESTRICTIONS.

A-3	
SCALE:	1/4" = 1
CHECKED BY:	V.K
DRAWN BY:	S.T
DATE DRAWN:	4/20/22
JOB NUMBER:	21041
PROJECT IN	FO

	6' - 4" 6' - 4" = = = = = = = = = = = = = = = = = =	(E) 42" RAILING AROUN OUTDOOR DINING ARE	5'-2"
30'-4"	(E) OUTDOOR SITTING AREA 767 SF	3'-2" 5'-11" 5'-11" 2'-6" 3'-4" 5'-11" 1	3' - 5"
		(E) FOH KITCHEN 192 SF (E) BOH KITCHEN 130 SF (E) STORAGE 23 SF 3	9' - 0" 8' - 1" 8' - 1"







			PROP	OSED DOOR SO	CHEDULE			
MARK	WIDTH	HEIGHT	OPERATION	FRAMING	TEMPERED	QUANTITY	U-FACTOR	SHGC
1	3'-0"	6'-8"	SWING	WOOD	WOOD	2	N/A	N/A

NOTE:

SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72 CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.

FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM.

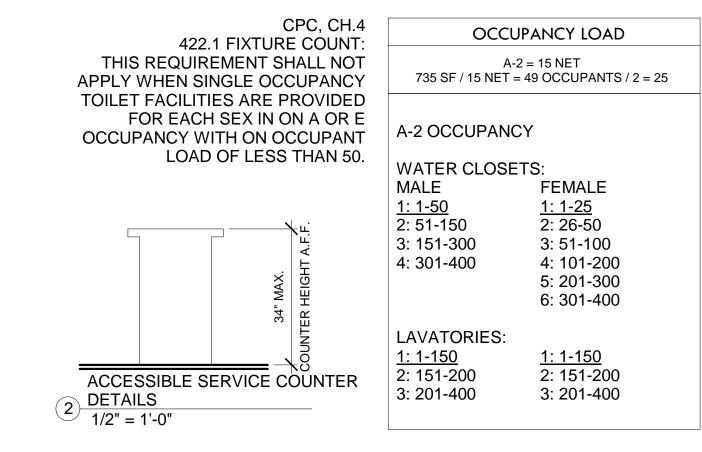
LEGEN	ID
EXISTING WALL (2X4)	
NEW WALL (2X4)	
SOUND & FIRE RATED WALL (DETAIL ON A-11)	
ENERGY STAR EXHAUST 50 CFM DUCTED TO OUTSIDE AND CONTROLLED BY HUMIDISTAT	•
SMOKE DETECTOR/ CARBON MONOXIDE	

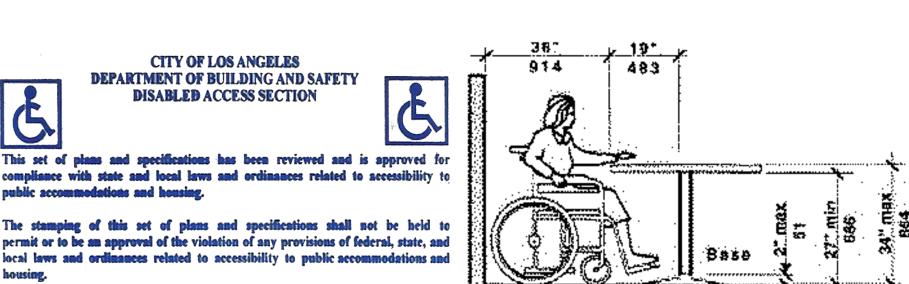
CTTY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY

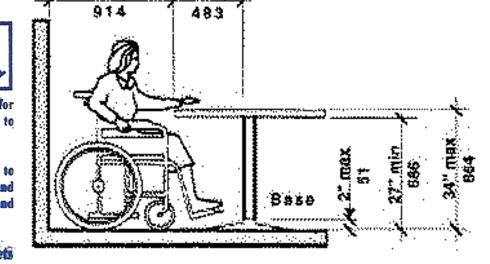
DISABLED ACCESS SECTION

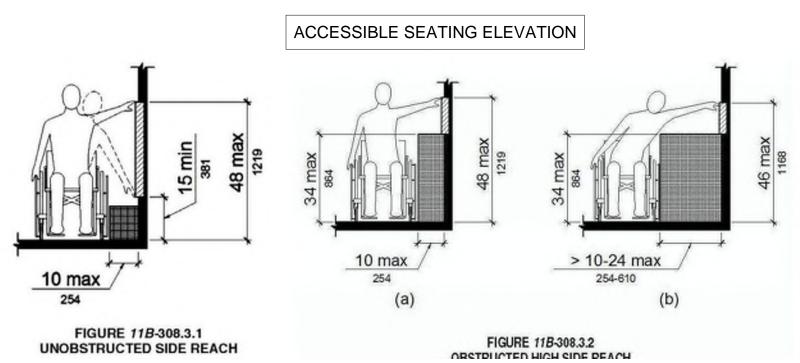
	ELECTRICAL LEGEND						
Ş	SINGLE SWITCH						
S_2	DOUBLE SWITCH						
Sp	DIMMER SWITCH						
\Box	DOUBLE OUTLET						
GFI	GFI OUTLET						
□ R	RANGE OUTLET						
240V	240V OUTLET						

FINISH SCHEDULE									
AREA	FLOOR	COVERBASE	WALL	CEILING					
REMODEL (E) OUTDOOR DINING (OPEN TO SKY)	NON SLIP TILE	3/8" RADIUS 6" COVED BASE QUARRI TILE	PAINTED DRYWALL, WASHABLE, SMOOTH, WHITE	TRELLIS, PAINTED BLACK OPEN TO SKY					
RESTROOM	SMOOTH CONCRETE	3/8" RADIUS 6" COVED BASE QUARRI TILE	PAINTED DRYWALL, WASHABLE, SMOOTH, WHITE	HARD CEILING W/ PAINT, WASHABLE, SMOOTH, WHITE					









CABINET REACH RANGE DETAILS

REVISE DATES:

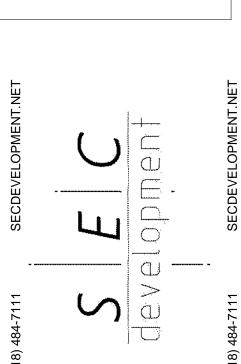
CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

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PROPOS FLOOR PI



PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: S.T. DRAWN BY: CHECKED BY: V.K. 1/4" = 1' SCALE:

DSA BULLETIN BU 17-01 **IDENTIFICATION OF SINGLE-USER TOILET FACILITIES AS ALL-GENDER**

ATTACHMENT

IDENTIFICATION OF ALL GENDER SINGLE-USER TOILET FACILITIES Compliant with the California Building Code (CBC) Chapter 11B

EXHIBIT A - Door Symbol (required by the CBC)

This image represents the door symbol that is required by CBC 11B-216.8 to identify an allgender/unisex single-user toilet facility. The symbol must comply with the requirements of CBC 11B-703.7.2.6.3. No pictogram, text, or braille is required on the symbol.

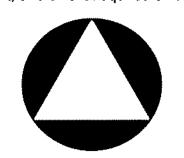


EXHIBIT B - Designation sign on wall

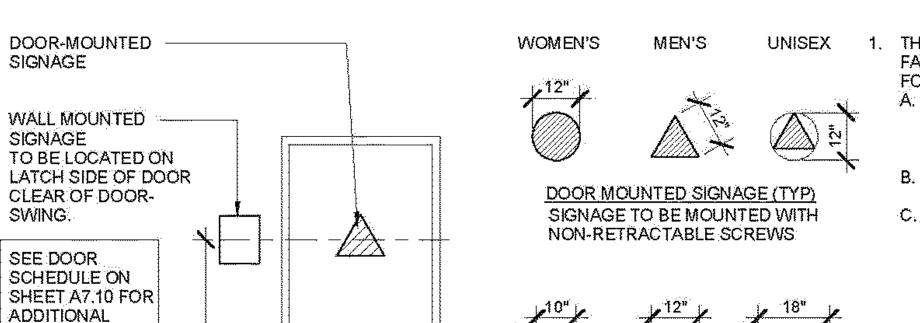
Designation signs are not required to be provided by the CBC or the 2010 ADAS. If provided, a designation sign adjacent to the door must comply with the scoping requirements of CBC 11B-216.2, and the technical requirements for raised characters (CBC 11B-703.2), braille (CBC 11B-703.3), visual characters (CBC 11B-703.5), and requirements for installation height and location (CBC 11B-703.4). No pictogram is required. The following signs illustrate acceptable examples for designation sign text:

RESTROOM

Note: Braille translation not verified by DSA.

ALL-GENDER

RESTROOM



THE DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE IDENTIFIED AS

UNISEX

RESTROOM

- FOLLOWS: A. AN EQUILATERAL TRIANGLE 1/4" THICK W/ EDGES 12"LONG AND VORTEX POINTING UPWARD AT MEN'S RESTROOMS.
- B. A CIRCLE 1/4" THICK, 12" DIA. AT WOMEN'S RESTROOMS
- C. A CIRCLE 1/4" THICK 12" DIA. OVERLAYED BY AN EQUILATERAL TRIANGLE 1/4"THICK W/ EDGES 12" LONG AND VORTEX POINTING UPWARD AND CONTRASTING COLORS BETWEEN EACH AT UNISEX RESTROOMS.
- THE REQUIRED SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT
- E. BRAILLE SIGNAGE SHALL ALSO BE LOCATED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOORWAYS LEADING TO THE SANITARY FACILITIES.

NOTES:

SIGNAGE INFO.

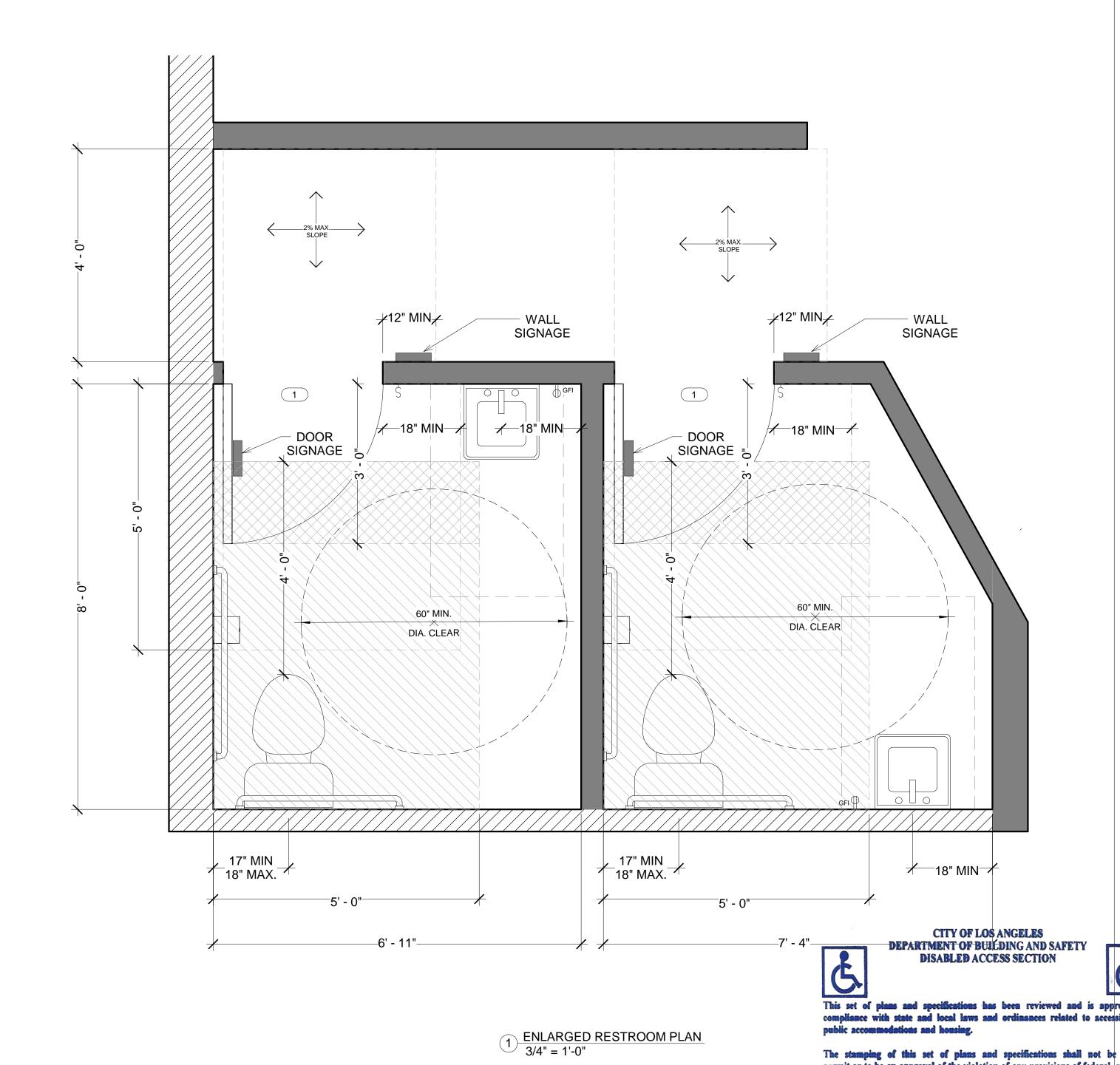
1. CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

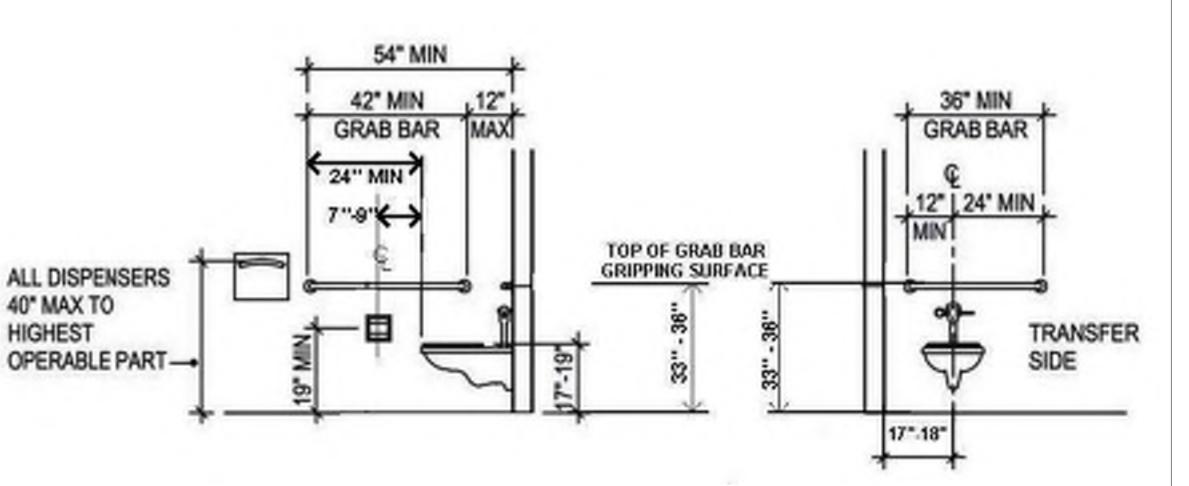
WALL MOUNTED SIGNAGE (TYP)

2. CHARACTERS AND NUMBERS ON SIGNS REQ'D TO BE ACCESSIBLE SHALL BE SIZED ACCORDING TO CODE, 3. CONTRACTED (GRADE 2) BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQ'D. DOTS SHALL BE 1/10 INCH ON CENTERS IN EACH CELL WITH 2/10 INCH SPACE BÈTWEEN CELLS. DOTS SHALL BE RAISE A MINIMUM OF 1/40 INCH ABOVE THE BACKGROUND

ACCESSIBLE RESTROOM NOTES:

- MIRROR BOTTOM EDGE NO HIGHER THAN 40" A.F.F.
- FLOOR SURFACE SHALL BE OF A MATERIAL PROVIDING SLIP RESISTANCE.
- FAUCET CONTROLS SHALL BE OPERABLE WITH ONE HAND.
- TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 4".
- WALLS WITHIN 2 FT OF THE FRONT AND SIDES OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD NON-ABSORBENT SURFACE OF PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF 4 FT.
- 6. FLUSH CONTROL SHOULD BE ON THE OPEN SIDE OF THE WATER CLOSET.





OCCUPANCY LOAD A-2 = 15 NET735 SF / 15 NET = 49 OCCUPANTS / 2 = 25 A-2 OCCUPANCY WATER CLOSETS: **FEMALE** <u>1: 1-25</u> 1: 1-50 2: 26-50 2: 51-150 3: 51-100 3: 151-300 4: 301-400 4: 101-200 5: 201-300 6: 301-400 LAVATORIES: <u>1: 1-150</u> 1: 1-150 2: 151-200 2: 151-200

permit or to be an approval of the violation of any provisions of federal, state, and

CPC, CH.4 422.1 FIXTURE COUNT: THIS REQUIREMENT SHALL NOT APPLY WHEN SINGLE OCCUPANCY **TOILET FACILITIES ARE PROVIDED** FOR EACH SEX IN ON A OR E OCCUPANCY WITH ON OCCUPANT LOAD OF LESS THAN 50.

3: 201-400

3: 201-400

REVISE DATES:

CONTRACTOR TO VERIFY ALL

DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH

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BEEN PREPARED AND DEVELOPED

WITHOUT THE WRITTEN CONSENT

CONTACT WITH THESE DRAWINGS

SHALL CONSTITUTE CONCLUSIVE

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S 0

RESTRO

OF **SEC DEVELOPMENT**. VISUAL

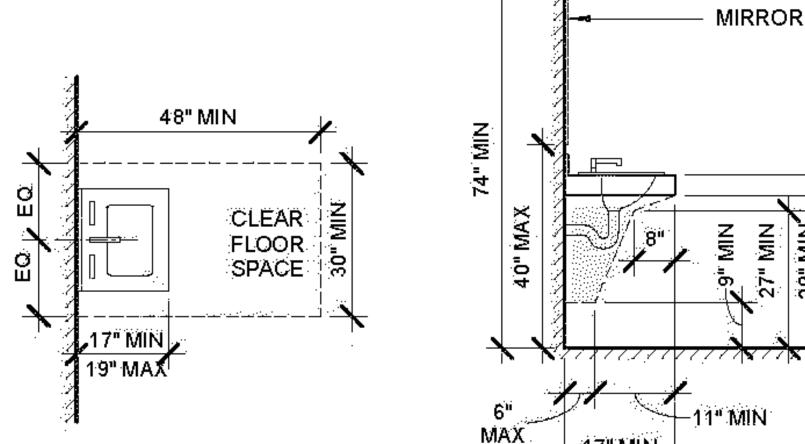
EVIDENCE OF ACCEPTANCE OF

THESE RESTRICTIONS.

AND SHALL REMAIN THE

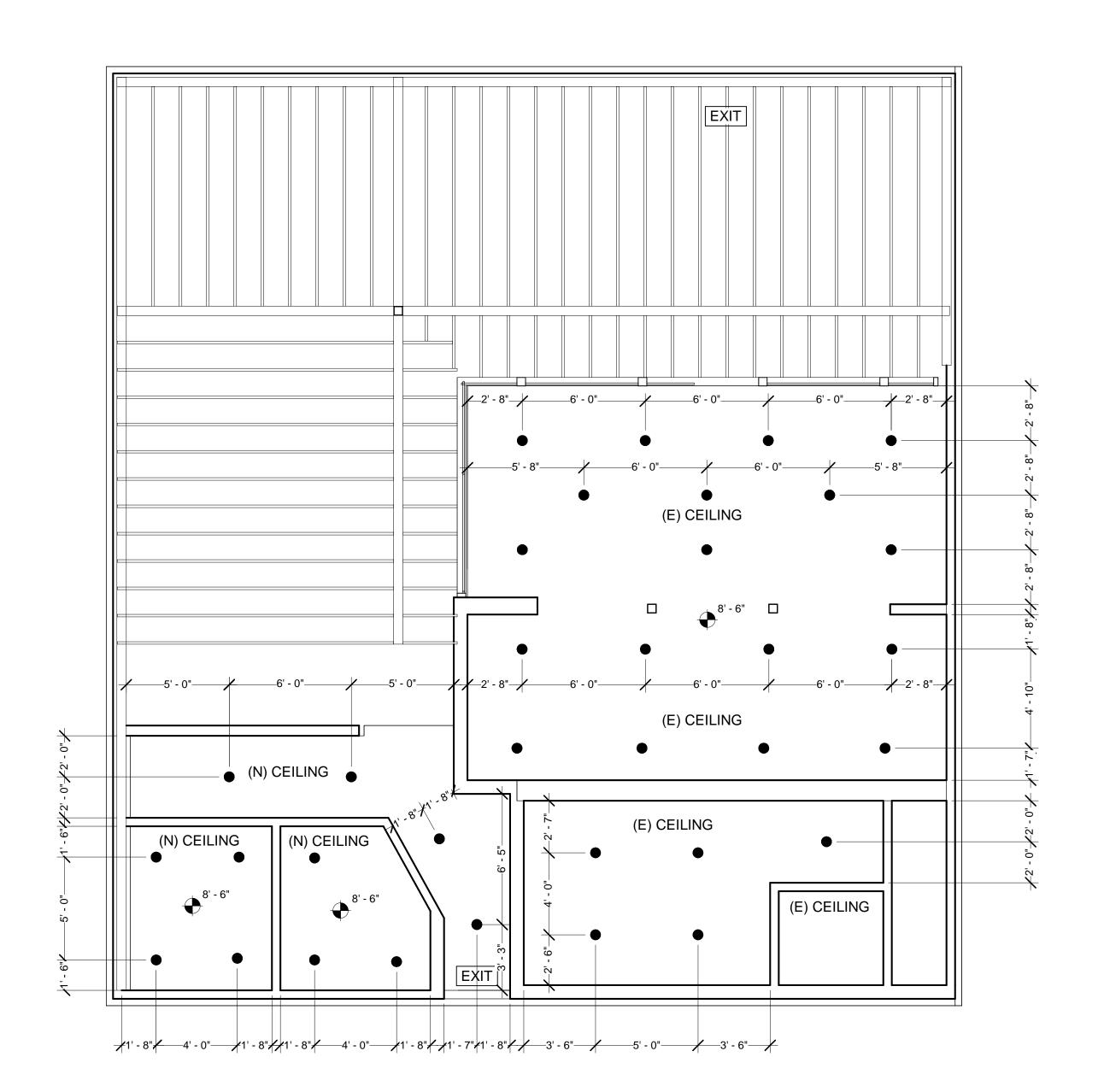
OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE

PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: DRAWN BY: S.T. V.K. CHECKED BY: SCALE: 3/4" = 1' **A-5**



MIRROR SOAP -DISPENSER 40, CLR.

2 FIXTURE DETAILS 3/4" = 1'-0"



PROPOSED CEILING PLAN 1/4" = 1'-0"

	LIGHT LEGEND	
TYPE OF LIGHT	SYMBOL	QUANTITY
RECESSED CAN		34
EXIT SIGN	EXIT	2

MEANS OF EGRESS NOTES:

A. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED K. THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE B. EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 IUX). C. INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL AND SHALL BE INSTALLED IN ACCORDANCE WITH THE

MANUFACTURER INSTRUCTIONS AND SECTION 2702. 1013.5 D. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. 1013.3 E. EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS. 1013.6.3 F. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE

EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SEE 1010.1.9.3 FOR EXCEPTIONS. G. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL III. EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR

H. THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.

I. ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1010.1.9 & 1010.1.9.12

J. THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.

L. THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:

I. AISLES AND UNENCLOSED EGRESS STAIRWAYS IN

ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS

II. CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO

OR MORE EXITS: LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE

TWO OR MORE EXITS. IV. INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1028.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.

V. EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1010.1.6, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS

EXIT

DN

1. ALL EXIT DOORS SHALL COMPLY WITH SECTION 1010.1 A. CLEAR WIDTH OF EACH DOOR

OPENING SHALL BE MIN. 32" OR PER SEC. 1005.3.2, WHICHEVER IS GREATER B. MIN. DOOR HEIGHT OF 6 FEET - 8

FEET. C. SHALL BE CAPABLE OF OPENING 90 DEGREES.

D. THE MAXIMUM WIDTH OF A SWINGING DOOR LEAF SHALL BE 48" NOMINAL. E. EXIT DOOR SHALL BE SIDE-HINGED SWINGING TYPE.

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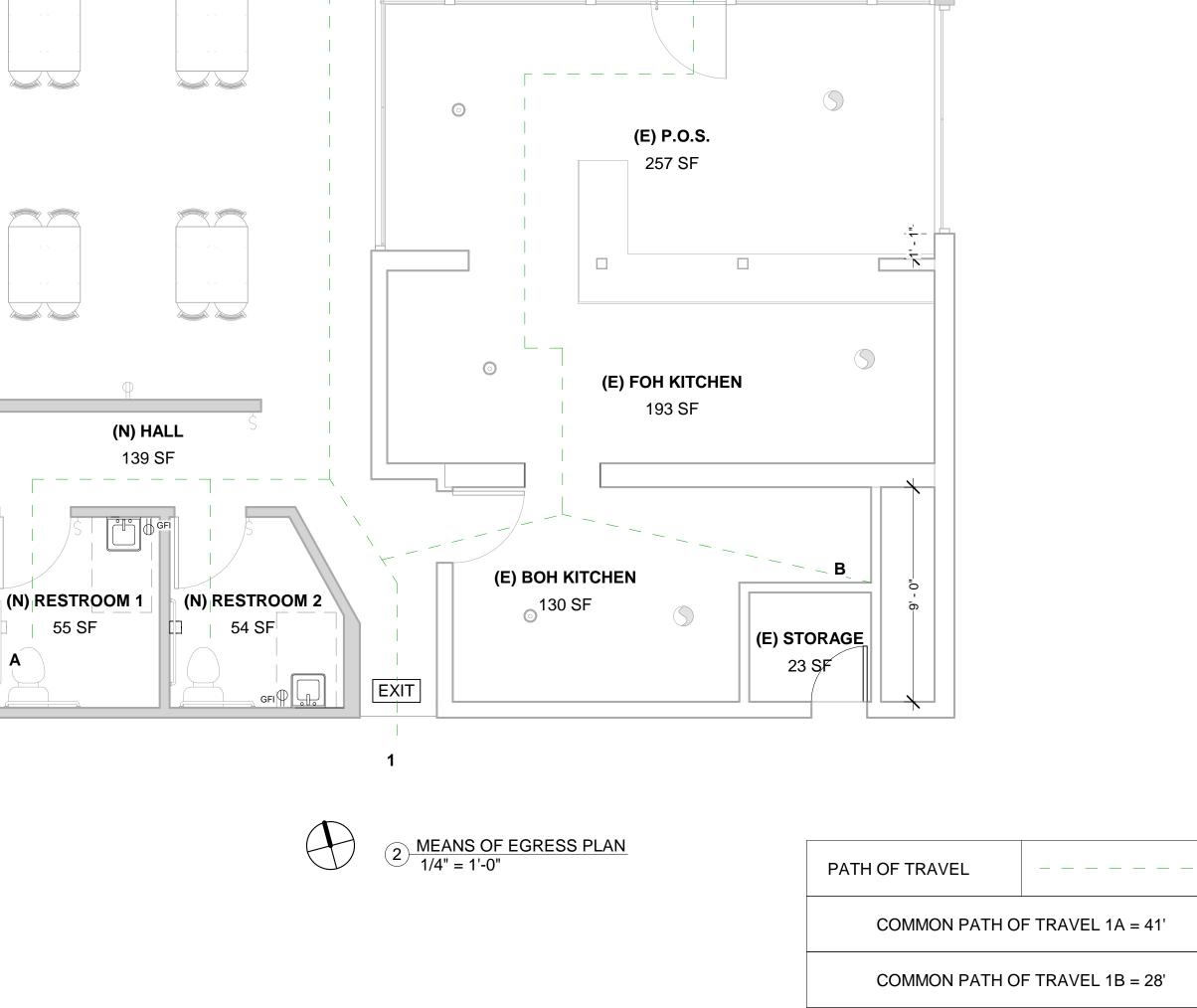
CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

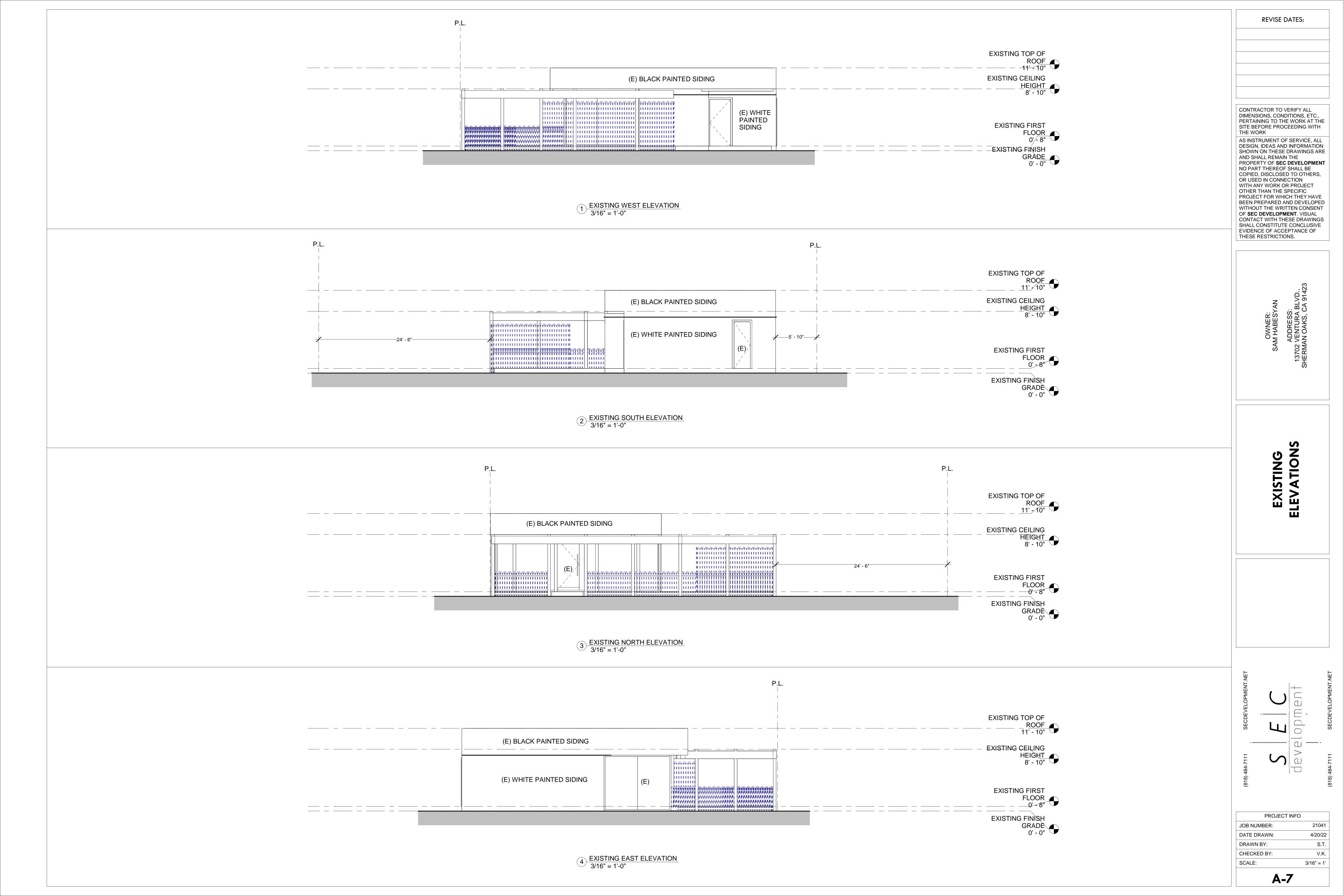
ADDRESS: 13702 VENTURA BLVD., HERMAN OAKS, CA 9142

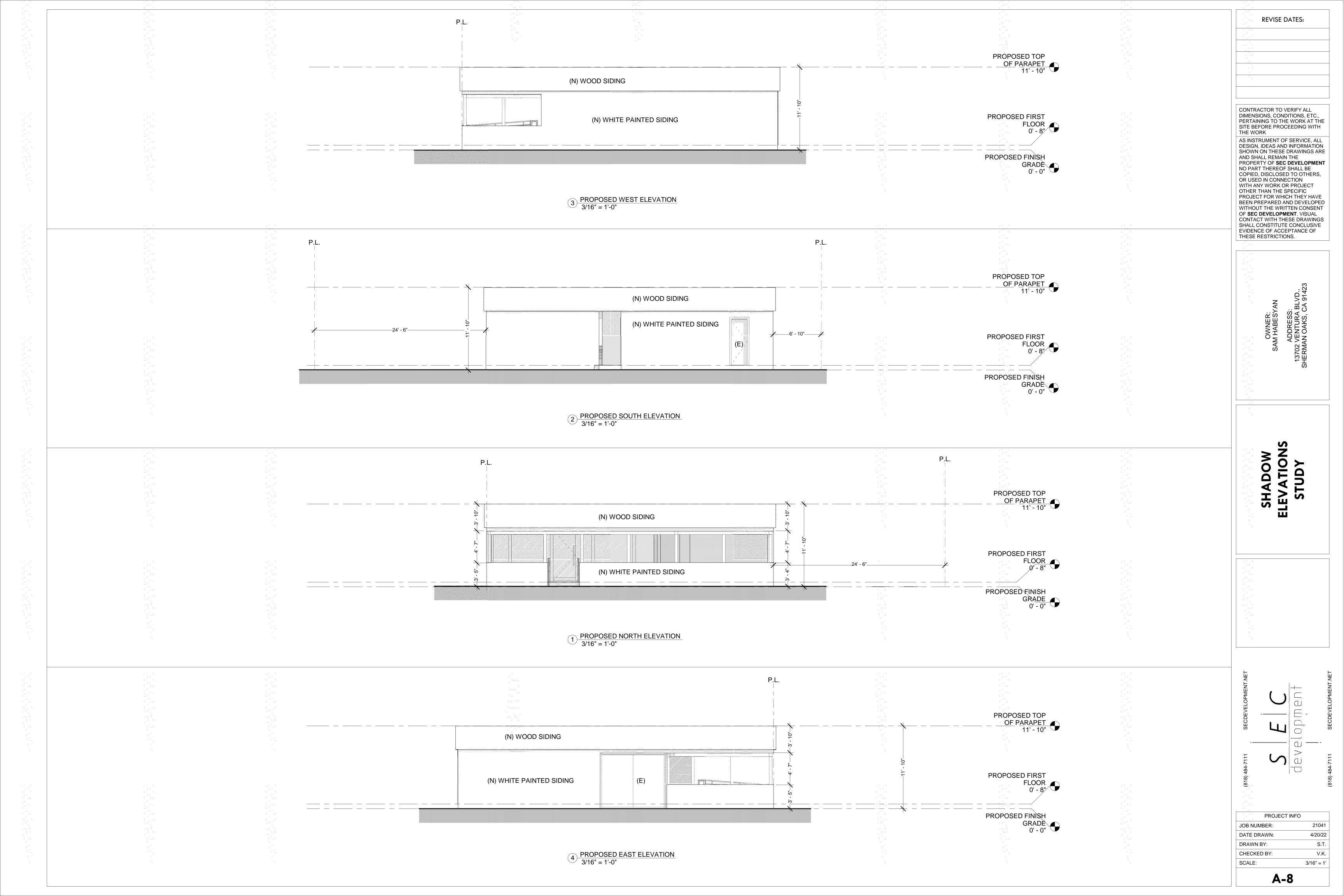
PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: S.T. DRAWN BY: V.K. CHECKED BY: 1/4" = 1' SCALE: **A-6**

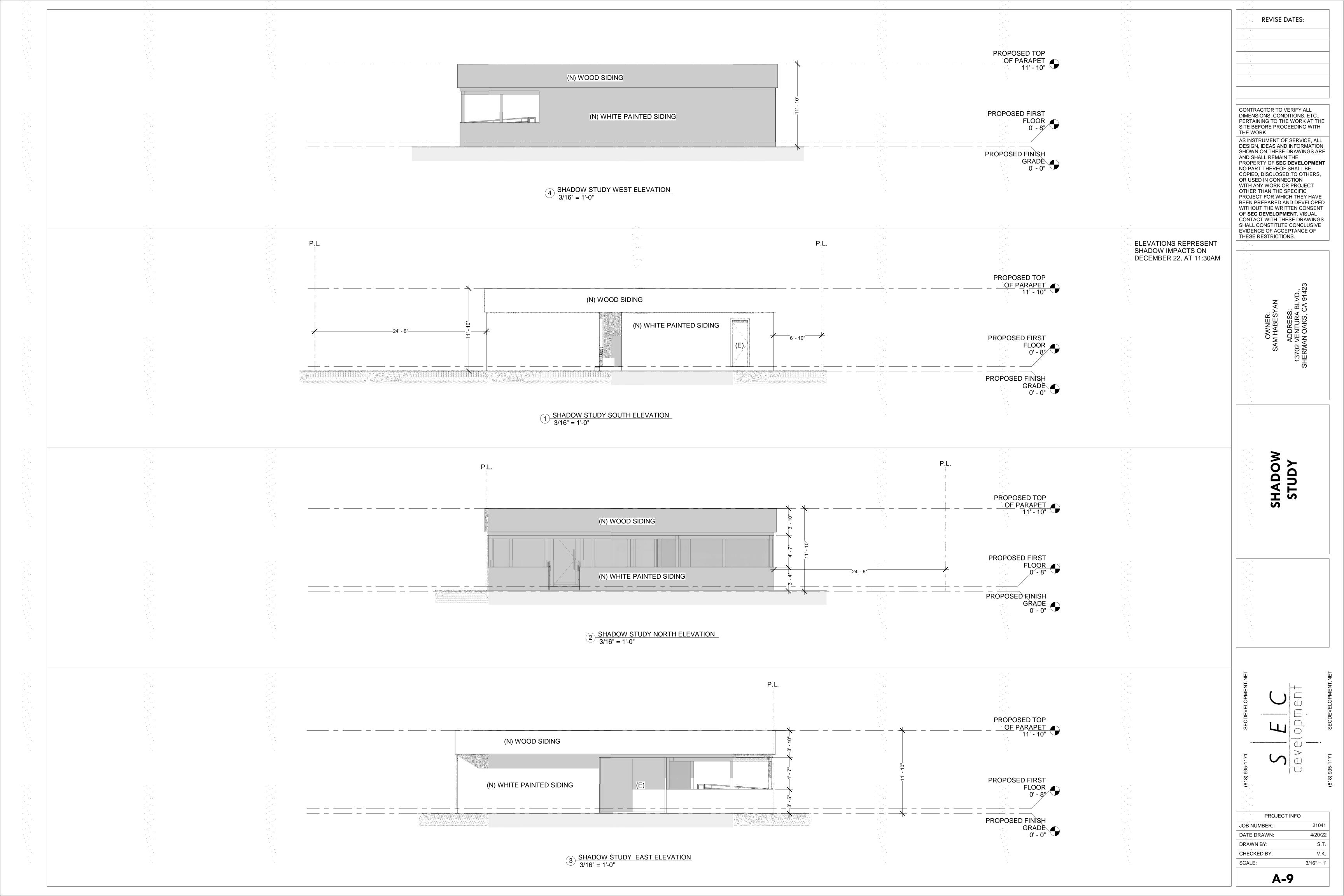
COMMON PATH OF TRAVEL 2A = 72'

COMMON PATH OF TRAVEL 2B = 48'









PROJECT INFO 21041 JOB NUMBER: DATE DRAWN: 4/20/22 S.T. DRAWN BY: V.K. CHECKED BY: 1/4" = 1' SCALE:

A-10

CITY OF LOS ANGELES
DEPARTMENT OF BUILDING AND SAFETY

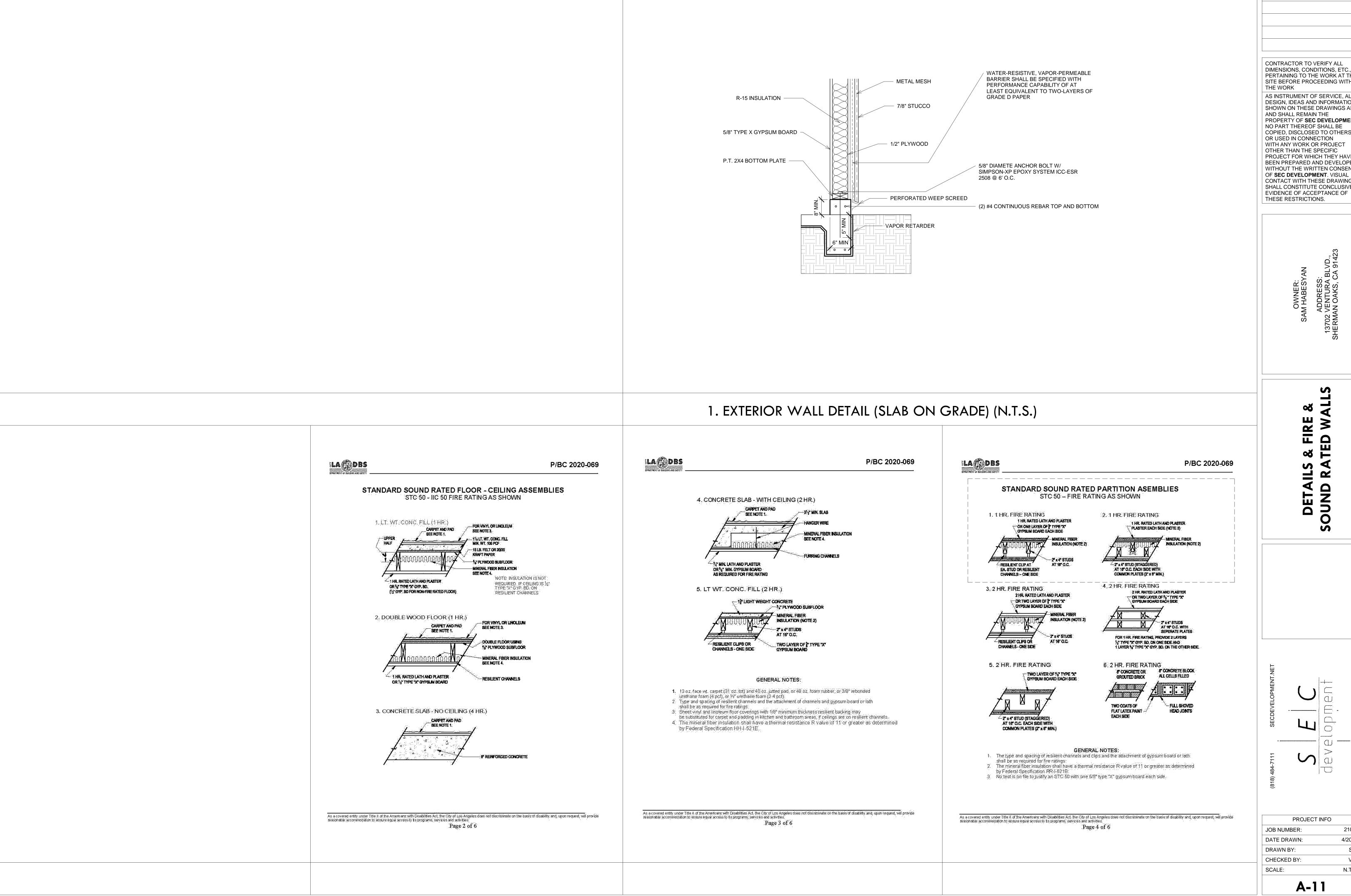
DISABLED ACCESS SECTION

PROPOSED FINISH

GRADE 0' - 0"

3 SECTION 3 1/4" = 1'-0"

(E) SLAB ON GRADE



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PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: S.T. DRAWN BY: V.K. CHECKED BY: N.T.S. **A-11**

AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE

DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170,158) (SEPARATE PLUMBING PERMIT IS REQUIRED). PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN

APPROVED SEWAGE DISPOSAL SYSTEM (R306.3). KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).

BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2). PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER

HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9) WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)

FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (6109 OF LABC)

FOR EXISTING POOL ON SITE, PROVIDE ANTI- ENTRAPMENT COVER MEETING THE CURRENT ASTM

OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2977. (3162B) K. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4) SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR

ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000), (R314.6.2) WHERE A PERMIT IS REQUIRED FOR ALTERATIONS. REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN

THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.2) EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6

FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1) A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

OCCUPANCY CLASSIFICATION TOWNHOUSE: TOWNHOUSES SHALL BE SEPARATED BY TWO 1-HOUR FIRERESISTANCE-RATED WALL ASSEMBLIES COMPLYING WITH THE REQUIREMENTS OF SECTION R302.1 FOR EXTERIOR WALLS. A COMMON 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY IS PERMITTED IF

SUCH WALLS DO NOT CONTAIN PLUMBING OR MECHANICAL EQUIPMENT, DUCTS

MEANS OF EGRESS:

PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. SHOW DETAILS ON PLANS. MINIMUM - 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA (5.0 SF AT GRADE LEVEL) & 44" MAXIMUM TO SILL. (R310.1) SHOW ON PLANS THAT THE ENTRY/EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75" BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3.1) SHOW THE FOLLOWING STAIRWAY DETAILS ON PLANS:

7.75" MAXIMUM RISE & MINIMUM 10" RUN. (R311.7.5)

MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2) MINIMUM 36" CLEAR WIDTH. (R311.7.1)

HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1) HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2"

CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.7.3) MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (R312.1.3)

SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (R302.7) ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7) PROVIDE 42" HIGH GUARDS WITH MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS AT (

FOR GLASS HANDRAILS AND GUARDS, THE PANELS AND THEIR SUPPORT SYSTEM SHALL BE DESIGNED TO WITHSTAND THE LOADS SPECIFIED IN CHAPTER 16 OF 2014 LABC. A SAFETY FACTOR OF FOUR SHALL BE USED. THE MINIMUM NOMINAL THICKNESS OF THE GLASS SHALL BE 1/4 INCH. (2407)

ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY

WATER CONSERVATION:

THE PROJECT SHALL DEMONSTRATE A 2-% REDUCTION IN WATER USE BY SPECIFYING PLUMBING FIXTURES AND FIXTURES THAT MEET THE FLOW RATES LISTED BELOW, OR THROUGH A CALCULATION SHOWING A 20% REDUCTION FROM BASELINE VALUES LISTED IN CALGREEN TABLE 4.303.1.

SHOWERHEADS 2.0 GALLONS PER MINUTE (GPM) 1* LAVATORY FAUCET- RESIDENTIAL 1.5 GPM KITCHEN FAUCETS 1.8 GPM WATER CLOSETS 1.28 GALLONS PER FLUSH 2* URINALS 0.5 GALLON PER FLUSH METERING FAUCETS 0.2 GALLON PER CYCLE

THE COMBINED FLOW RATE OF MULTIPLE SHOWER HEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATE, OR THE SHOWER SHALL BE DESIGNED TO PERMIT ONE

SHOWERHEAD TO BE IN OPERATION AT A TIME. THE EFFECTIVE FLUSH VOLUME FOR DUAL-FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

ELECTRICAL NOTES:

A. PANEL LOCATIONS PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL, SUCH AS CLOTHES CLOSETS, OR IN BATHROOMS (CEC 240-24(D)). B. NON-METALLIC SHEATHED CABLE (CEC 334)

NON-METALLIC SHEATHED CABLE SHALL BE: PROTECTED BY RIGID METAL CONDUIT, INTERMEDIATE METAL CONDUIT, ELECTRICAL METALLIC TUBING, SCHEDULE 80 PVC CONDUIT, PIPE, OR OTHER MEANS WHEN CABLE IS EXPOSED OR SUBJECT TO PHYSICAL DAMAGE. (CEC 334.15(B)) PROTECTED BY A 1.16 INCH STEEL PLATE OR SLEEVE, OR BE NOT LESS THAN 1-1/4 INCH FROM THE NEAREST EDGE OF THE FRAMING MEMBER, WHEN INSTALLED THROUGH FRAMING MEMBERS. STEEL

PLATES OR SLEEVES ARE REQUIRED ON ALL DOUBLE SHEAR WALLS WHEN CABLE IS INSTALLED EITHER THROUGH OR PARALLEL TO FRAMING MEMBERS (CEC 334.17). PROTECTED BY GUARD STRIPS WITHIN 6FT OF AN ATTIC ACCESS WHEN NO PERMANENT STAIRS OR LADDERS ARE PROVIDED. (CEC 334.23, 320.23)

PROTECTED BY GUARD STRIPS IN THE ENTIRE ATTIC WHEN PERMANENT STAIRS OR LADDERS ARE PROVIDED. ACCESS PANELS OR DOORS FROM THE SECOND FLOOR INTO THE ATTIC ARE CONSIDERED PERMANENT ACCESS AND GUARD STRIPS ARE REQUIRED IN THE ENTIRE ATTIC. HAVE A BENDING RADIUS NOT LESS THAN 5 TIMES THE DIAMETER OF THE CABLE (CEC 334.24). SUPPORTED AT INTERVALS NOT EXCEEDING 4-1/2 FEET AND WITHIN 12" OF EVERY OUTLET BOX,

C. CIRCUITS AND RECEPTACLES RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FT. FROM AN OUTLET, INCLUDING ANY WALL SPACE 2 FT. WIDE OR GREATER. NOTE: A FIXED PANEL OF A SLIDING GLASS DOOR IS CONSIDERED WALL SPACE. IN KITCHENS, BREAKFAST ROOMS, PANTRIES AND DINING ROOMS A MINIMUM OF 2-20A CICUITS

JUNCTION BOX, CABINET OR FITTING (CEC 334.30).

SHALL BE PROVIDED (CEC 210.11 (C)(1)). COUNTER SPACE RECEPTACLES SHALL BE GFCI (CEC 210.8 (A)) AND INSTALLED: - AT EACH WALL COUNTER SPACE THAT IS 12 IN. OR GREATER (CEC 210.52 (C)(1));

- NO MORE THAN 48 IN. OC. (CEC 210.52 (C)(1)); - MAXIMUM 24 IN. FROM THE END OF THE COUNTER (CEC 210.52 (C)(1)) - MAXIMUM 20 IN. ABOVE COUNTER SURFACE (CEC 210.52 (C)(5)); - ON ISLAND COUNTER SPACES (ONE RECEPTACLE MIN.) NOT MORE THAN 12 IN. BELOW COUNTER SURFACE (CEC 210.52 (C)(5) EXCEPTION). AN ISLAND WITH LESS THAN 12" BEHIND

A RANGE TOP OF SINK IS CONSIDERED AS DIVIGING THE COUNTERTOP INTO TWO SEPARATE - ON PENINSULAR COUNTER SPACES (ONE RECEPTACLE MIN.) NOT MORE THAN 12 IN. BELOW COUNTER SURFACE (CEC) 210.52 (C)(5) EXCEPTION));

BATHROOMS SHALL HAVE A SEPARATE 20A CIRCUIT (CEC 210.11 (C)(3)) WITH AT LEAST ONE GFCI WALL RECEPTCLE WITHIN 36 IN. OF EACH BASIN (CEC 210.8 (A)(1); CEC 210.52 (D)) LAUNDRY ROOMS SHALL HAVE A SEPARATE 20A CIRCUIT WITH AT LEAST ONE RECEPTACLE SHALL BE PROVIDED (CEC 210.11 (C)(2)). ALL RECEPTACLES WITHIN 6 FT. OF A SINK SHALL BE GFCI IN GARAGES, AT LEAST ONE GFCI RECEPTACLE SHALL BE PROVIDED

(CEC 210.52 (G)). ALL OTHER GARAGE RECEPTACLES EXCEPT THOSE DEDICATED TO AN APPLIANCE OR THAT ARE NOT READILY ACCESSIBLE SHALL BE GFCI. (CEC 210.8 (A)(2)) IN HALLWAYS OF 10 FT. OR MORE IN LENGTH, AT LEAST ONE RECEPTACLE SHALL BE PROVIDED (CEC 210.52 (H)).

OUTDOOR OUTLETS SHALL BE GFCI (CEC 210.8 (3)). ONE OUTLET SHALL BE INSTALLED AT THE FRONT OF THE DWELLING AND ONE AT THE REAR OF THE DWELLING. RECEPTACLES SHALL BE ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6-1/2 FT. ABOVE GRADE (CEC 210.52 (E)). ALL CRAWL SPACE RECEPTACLES SHALL BE GFCI (CEC 210.8(A)(4))

ALL UNFINISHED BASEMENT RECEPTACLES SHALL BE GFCI UNLESS THEY ARE NOT READILY ACCESSIBLE OR ARE SERVICE A DEDICATED APPLIANCE (CEC 210.8 (A)(5)). ALL RECEPTACLES WITHIN 6FT. OF A WET BAR SHALL BE GFCI

(CEC 210.8(A)(7)) ALL RECEPTACLES ON 15A OR 20A BRANCH CIRCUITS THAT SUPPLY FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTERS (AFCI), INCLUDING SWITCHED OUTLETS (CEC 210.12(B))

ALL RECEPTACLES SERVING APPLIANCES OR MOTORS WITH A RATING OF 1 HP OR 6 AMPS SHALL BE ON A SEPARATE CIRCUIT. FOR HVAC EQUIPMENT, A SEPARATE 15A OR 20A CIRCUIT WITH AN ACCESSIBLE RECEPTACLE AT

THE EQUIPMENT SHALL BE PROVIDED WITHIN 25 FT OF THE EQUIPMENT (CEC 210.63). IF LOCATED IN AN UNDER FLOOR AREA, THE RECETACLE SHALL BE GFCI (CEC 210.8 (4)). D. LIGHTING (CEC 210.70) SWITCHED LIGHTING SHALL BE INSTALLED IN:

- ALL HABITABLE ROOMS, BATHROOMS, HALLWAYS, AND STAIRWAYS AT EACH LEVEL, - AT ALL OUTDOOR ENTRANCES AND EXITS, - IN ALL ATTICS, UNDER FLOOR AREAS, UTILITY ROOMS AND BASEMENTS USED FOR

- NEAR HVAC EQUIPMENT IN ATTIC, UNDER FLOOR AREAS, ROOMS OR BASEMENTS, WITH A SWITCH AT THE ACCESS POINT. LIGHTING INSTALLED IN A CLOSET SHALL BE A SURFACE MOUNTED OR RECESSED FLUORESCENT FIXTURE OR A SURFACE MOUNTED INCANDESCENT FIXTURE WITH COMPLETELY ENCLOSED LAMPS

OR RECESSED INCANDESCENT FIXTURE WITH COMPLETELY ENCLOSED LAMPS. SURFACE INCANDESCENT LIGHTING SHALL BE INSTALLED A MINIMUM OF 12 IN. FROM THE NEAREST POINT OF A STORAGE SPACE. SURFACE FLUORESCENT LIGHTING AND RECESSED LIGHTING SHALL BE INSTALLED A MINIMUM OF 6 IN. FROM THE NEAREST POINT OF A STORAGE SPACE. (CEC 410.8. (D)). E. FANS

IN BATHROOMS CONTAINING TUBS OR SHOWERS, A FAN CAPABLE OF EXHAUSTING 50 CFM SHALL BE INSTALLED (ENERGY STANDARDS 150 (O)). F. SMOKE ALARMS

IN NEW CONSTRUCTION, SMOKE ALARMS SHALL RECIEVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. THE WIRING SHALL BE PERMANENT AND INSTALLED WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION (CRC R314.4).

BUILDING ENVELOPE:

PROVIDE A CLASS A, B OR C FIRE-RETARDANT ROOF COVERING PER SECTION R902.1 GLAZING IN THE FOLLOWING LOCATIONS SHALL BE SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3 (SEE EXCEPTIONS) (R308.4):

> FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOOR ASSEMBLIES. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

> GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

1) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET. 2) BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR. 3) TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. 4) ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE

GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (R401.3).

DAMPPROOFING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD

FRONTING THE PROPERTY. (R319.1) PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE

AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)

FIRE DEPARTMENT NOTES:

APPROVED BUILDING ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION SHALL BE PROVIDED AND MAINTAINED SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, BE ARABIC NUMERALS OR ALPHABET LETTERS, AND BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH. FIRE CODE 505.1

ALL FIRE HYDRANTS SHALL MEASURE 6" X 4" X 2-1/2", BRASS OR BRONZE, CONFORMING TO AMERICAN WATER WORKS ASSOCIATION STANDARD C503, OR APPROVED EQUAL, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE COUNTY OF LOS ANGELES FIRE DEPARTMENT REGULATION 8 THE MEANS OF EGRESS, AND EXIT DISCHARGE, SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH A LIGHT INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE LEVEL.

BUILDING CODE 1006.2 THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. BUILDING CODE 1006.3

THE MINIMUM WIDTH OF EACH DOOR OPENING SHALL BE SUFFICIENT FOR THE OCCUPANT LOAD THEREOF AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES. THE HEIGHT OF DOORS SHALL NOT BE LESS THAN 80 INCHES, BUILDING CODE 1008.1.1 EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR

ANY SPECIAL KNOWLEDGE OR EFFORT. BUILDING CODE 1008.1.9 EXITS, EXIT ACCESS DOORS AND PATHS OF EGRESS TRAVEL THAT IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS SHALL BE MARKED BY AN APPROVED EXIT SIGN THAT IS READILY VISIBLE FROM THE ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. **BUILDING CODE 1011**

DUMPSTER AND CONTAINERS WITH AN INDIVIDUAL CAPACITY OF 1.5 CUBIC YARDS OR MORE SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF CONMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES, UNLESS AREAS CONTAINING DUMPSTERS OR CONTAINERS ARE PROTECTED BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM. FIRE CODE 304.3.3

GENERAL NOTES: **RESIDENTIAL NOTES:**

COMPLIANCE INFORMATION THE BUILDER SHALL LEAVE IN THE BUILDING, COPIES OF THE COMPLETED,

INFORMATION FOR ALL APPLICABLE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES

INSTALLATION, AND CERTIFICATE OF VERIFICATION DOCUMENTATIONS. THIS OPERATING INFORMATION

THAT REQUIRE ROUTINE MAINTENANCE FOR EFFICIENT OPERATION. REQUIRED ROUTINE MAINTENANCE

ACTIONS SHALL BE CLEARLY STATED AND INCORPORATED ON A READILY ACCESSIBLE LABEL. THE LABEL

VENTILATION INFORMATION. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY, A

DESCRIPTION OF THE QUANTITIES OF OUTDOOR AIR THAT THE VENTILATION SYSTEM(S) ARE DESIGNED TO

SPACE, AND INSTRUCTIONS FOR PROPER OPERATION AND MAINTENANCE OF THE VENTILATION SYSTEM. [10-

ALL SYSTEMS, EQUIPMENT, APPLIANCES AND BUILDING COMPONENTS SHALL COMPLY WITH THE APPLICABLE

ANY APPLIANCE REGULATED BY THE APPLIANCE EFFICIENCY REGULATIONS, TITLE 20 CALIFORNIA CODE OF

REGULATIONS, SECTION 1601 ET SEQ., MAY BE INSTALLED ONLY IF THE APPLIANCE FULLY COMPLIES WITH

THE INTENDED USE AS LISTED IN TABLE 3, CHAPTER 50 OF THE ASHRAE HANDBOOK, HVAC APPLICATIONS

VOLUME, SHALL HAVE SEPARATE REMOTE HEATERS, HEAT EXCHANGERS, OR BOOSTERS TO SUPPLY THE

SERVICE HOT WATER SYSTEMS WITH CIRCULATING PUMPS OR WITH ELECTRICAL HEAT TRACE SYSTEMS

CONTROLS FOR SERVICE WATER-HEATING SYSTEMS SHALL LIMIT THE OUTLET TEMPERATURE AT PUBLIC

UNFIRED SERVICE WATER-HEATER STORAGE TANKS AND BACKUP TANKS FOR SOLAR WATER-HEATING

INTERNAL AND EXTERNAL INSULATION WITH A COMBINED R-VALUE OF AT LEAST R-16, OR

FOR NONRESIDENTIAL, HIGH-RISE RESIDENTIAL, AND HOTEL/MOTEL BUILDINGS, SPACE CONDITIONING

CONTINUOUSLY BURNING PILOT LIGHT SHALL BE PROHIBITED FOR THE FOLLOWING NATURAL GAS SYSTEM

A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS

ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING.

HAVE A COVER FOR OUTDOOR POOLS OR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER.

THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80°F WATER-AIR TEMPERATURE DIFFERENCE

HOUSEHOLD COOKING APPLIANCES, EXCEPT FOR HOUSEHOLD COOKING APPLIANCES WITHOUT AN

ELECTRICAL SUPPLY VOLTAGE CONNECTION AND IN WHICH EACH PILOT CONSUMES LESS THAN 150

HAVE A READILY ACCESSIBLE ON-OFF SWITCH, MOUNTED ON THE OUTSIDE OF THE HEATER THAT

HAVE A PERMANENT, EASILY READABLE, AND WEATHERPROOF INSTRUCTION CARD THAT GIVES

HAVE AT LEAST 36 INCHES OF PIPE INSTALLED BETWEEN THE FILTER AND HEATER OR DEDICATED

SUCTION AND RETURN LINES, OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO

A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF A POOL WATER

ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY

TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.

CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN

HAVE DIRECTIONAL INLETS FOR THE POOL OR SPA THAT ADEQUATELY MIX THE POOL WATER.

MANUFACTURED FENESTRATION PRODUCTS AND EXTERIOR DOORS SHALL HAVE AIR INFILTRATION RATES

NOT EXCEEDING 0.3 CFM/FT2 OF WINDOW AREA, 0.3 CFM/FT2 OF RESIDENTIAL DOOR AREA, 0.3 CFM/FT2 OF

SHGC, AND VT OR USE THE APPLICABLE DEFAULT VALUE. FENESTRATION PRODUCTS SHALL HAVE A

FIELD-FABRICATED FENESTRATION PRODUCTS AND EXTERIOR DOORS, OTHER THAN UNFRAMED GLASS

DOORS AND FIRE DOORS. SHALL BE CAULKED BETWEEN THE FENESTRATION PRODUCTS OR EXTERIOR

COMPONENT MODELING APPROACH IS USED AND FOR SITE-BUILT FENESTRATION MEETING THE

PART 12, CHAPTER 12-13, ARTICLE 3, "STANDARDS FOR INSULATING MATERIAL." [110.8(A)]

NONRESIDENTIAL SINGLE DOOR AREA, AND 1.0 CFM/FT2 OF NONRESIDENTIAL DOUBLE DOOR AREA. [110.6(A)1] FENESTRATION PRODUCTS SHALL BE RATED IN ACCORDANCE WITH NFRC 100 FOR U-FACTOR, NFRC 200 FOR

TEMPORARY LABEL FOR MANUFACTURED FENESTRATION PRODUCTS OR A LABEL CERTIFICATE WHEN THE

JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES

OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER STRIPPED, OR OTHERWISE SEALED TO LIMIT

INSULATION SHALL BE CERTIFIED BY DEPARTMENT OF CONSUMER AFFAIRS, BUREAU OF HOME FURNISHING

THERMAL PERFORMANCE IS APPROVED PURSUANT TO THE CALIFORNIA CODE OF REGULATIONS, TITLE 24,

UREA FORMALDEHYDE FOAM INSULATION MAY ONLY BE USED IN EXTERIOR SIDE WALLS, AND REQUIRES A

FOUR-MIL-THICK PLASTIC POLYETHYLENE VAPOR BARRIER BETWEEN THE UREA FORMALDEHYDE FOAM

INSULATING MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME SPREAD RATING AND SMOKE

INSULATION INSTALLED ON AN EXISTING SPACE CONDITIONING DUCT, IT SHALL COMPLY WITH SECTION 604.0

EXTERNAL INSULATION INSTALLED ON AN EXISTING UNFIRED WATER STORAGE TANK OR ON AN EXISTING

STORM WATER MANAGEMENT:

FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WINDS.

STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM

FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR

LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE

EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE

SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE

CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING

DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.

BACK-UP TANK FOR A SOLAR WATER-HEATING SYSTEM, IT SHALL HAVE AN R-VALUE OF AT LEAST R-12, OR

THE HEAT LOSS OF THE TANK SURFACE BASED ON AN 80 EF WATER-AIR TEMPERATURE DIFFERENCE SHALL

ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED

CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND

TRASH AND CONSTRUCTOIN RELATED SOLID WASTES MUST BE DEPOSITED INTO A CONVERED RECEPTACLE

ACCIDENTAL DESPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR

PROVIDE 15" MINIMUM BETWEEN THE CENTER OF WATER CLOSET TO ANY SIDE WALL. (CALIF. PLUMB. CODE

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED NATURAL

VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE

ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN

HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68F AT A POINT 3 FEET

ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT

SCHEDULE CONSTRUCTION ACTIVITY TO REDUCE AREA AND DURATION OF SOIL EXPOSED TO EROSION BY

INTERIOR ENVIRONMENT:

PROVIDE 24" CLEAR SPACE IN FRONT OF ANY WATER CLOSET. (CALIF. PLUMB. CODE 407.6)

NON-STORMWATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE

INSTRUCTIONS FOR THE ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER AND FOR THE

CAPABLE OF ADJUSTMENT FROM THE LOWEST TO THE HIGHEST ACCEPTABLE TEMPERATURE SETTINGS FOR

SERVICE WATER-HEATING SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC TEMPERATURE CONTROLS

ON SYSTEMS THAT HAVE A TOTAL CAPACITY GREATER THAN 167,000 BTU/HR, OUTLETS THAT REQUIRE

HIGHER THAN SERVICE WATER TEMPERATURES AS LISTED IN THE ASHRAE HANDBOOK, APPLICATIONS

MAINTENANCE INFORMATION. THE BUILDER SHALL PROVIDE TO THE BUILDING OWNER AT OCCUPANCY

MAY BE LIMITED TO IDENTIFYING, BY TITLE AND/OR PUBLICATION NUMBER, THE OPERATION AND

PROVISIONS OF SECTIONS 110.0 THROUGH 110.11 FOR NEWLY CONSTRUCTED BUILDINGS

SHALL BE CAPABLE OF AUTOMATICALLY TURNING OFF THE SYSTEM. [110.3(C)2]

SHALL BE LESS THAN 6.5 BTU/HR PER SQUARE FOOT. [110.3 (C)4]

SYSTEMS SHALL MEET THE EFFICIENCY STANDARDS SPECIFIED SECTION 120.2.

PROPER CARE OF POOL OR SPA WATER WHEN A COVER IS USED

ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT

REQUIREMENTS OF SECTION 10-111(A)1. [110.6(A)2, 110.6(A)3, 110.6(A)4, 110.6(A)5]

DOOR AND THE BUILDING, AND SHALL BE WEATHERSTRIPPED. [110.6(B)]

AND THERMAL INSULATION THAT THE INSULATION CONDUCTIVE

BE LESS THAN 6.5 BTU PER HOUR PER SQUARE FOOT. . [110.8(D)2]

BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.

TO PREVENT CONTAMINATION OF RAINWATER AND DISPEARSAL BY WIND.

INFILTRATION AND EXFILTRATION. [110.7]

INSULATION AND THE INTERIOR SPACE IN

DENSITY REQUIREMENTS OF THE CBC. [110.8(C)]

ALL APPLICATIONS. [110.8(B)]

CONTAINED AT THE PROJECT SITE.

DEPOSITED INTO THE PUBLIC WAY.

EROSION BY WIND AND WATER.

TEMPERATURE. (R303.9)

WIND, RAIN, RUNOFF AND VEHICLE TRACKING.

OTHER MEANS.

DISPOSED OF AS SOLID WASTE.

OF THE CMC. [110.8(D)3]

ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT SHALL: [110.4]

NOT UTILIZE ELECTRIC RESISTANCE HEATING.

EXTERNAL INSULATION WITH AN INSTALLED R-VALUE OF AT LEAST R-12, OR

CONTAINED IN A FOLDER OR MANUAL WHICH PROVIDES ALL CERTIFICATE OF COMPLIANCE, CERTIFICATE OF

MAINTENANCE INFORMATION FOR ALL FEATURES, MATERIALS, COMPONENTS, AND MANUFACTURED DEVICES

RISE RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL, AT A MINIMUM, INCLUDE COPIES OF ALL

DOCUMENTATION SUBMITTED. . [10-103(B)1]

MANUFACTURED DEVICE. [10-103(B)3]

VOLUME, [110.3(A)1]

SYSTEMS SHALL HAVE:

BTU/HR

POOL HEATERS

SPA HEATERS

LAVATORIES TO 110F. [110.3(C)3]

OR EQUIPMENT LISTED BELOW: [110.5]

FAN-TYPE CENTRAL FURNACES

PROVIDE TO THE BUILDING'S CONDITIONED

MANUFACTURING, CONSTRUCTION, AND INSTALLATION

SECTION 1608(A) OF THOSE REGULATIONS. [110.1(A)]

OUTLET WITH THE HIGHER TEMPERATURE. [110.3(C)1]

SHALL BE IN PAPER OR ELECTRONIC FORMAT. [10-103(B)2]

CERTIFICATE OF COMPLIANCE, CERTIFICATE OF INSTALLATION, AND CERTIFICATE OF VERIFICATION

INSTALLED IN THE BUILDING. OPERATING INFORMATION SHALL INCLUDE INSTRUCTIONS ON HOW TO OPERATE THE FEATURES, MATERIALS, COMPONENTS, AND MECHANICAL DEVICES CORRECTLY AND

EFFICIENTLY. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE

EXECUTIVE DIRECTOR. FOR RESIDENTIAL BUILDINGS, SUCH INFORMATION SHALL BE

SIGNED AND SUBMITTED COMPLIANCE DOCUMENTS FOR THE BUILDING OWNER AT OCCUPANCY. FOR LOW-

CLOSEABLE METAL OR GLASS DOORS COVERING THE ENTIRE OPENING OF THE FIREBOX; A COMBUSTION AIR INTAKE TO DRAW AIR FROM THE OUTSIDE OF THE BUILDING DIRECTLY INTO THE FIREBOX, WHICH IS AT LEAST SIX SQUARE INCHES IN AREA AND IS EQUIPPED WITH A READILY ACCESSIBLE, OPERABLE, AND TIGHT-FITTING DAMPER OR COMBUSTION-AIR CONTROL DEVICE OPERATING INFORMATION. THE BUILDER SHALL PROVIDE THE BUILDING OWNER AT OCCUPANCY, OPERATING (EXCEPTION: AN OUTSIDE COMBUSTION-AIR INTAKE IS NOT REQUIRED IF THE FIREPLACE WILL BE INSTALLED OVER CONCRETE SLAB FLOORING AND THE FIREPLACE WILL NOT BE LOCATED ON AN

A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE THE FOLLOWING: [150.0(E)1]

A FLUE DAMPER WITH A READILY ACCESSIBLE CONTROL. [150.0 (E)C] HEATING OR COOLING SYSTEMS SHALL BE EQUIPPED WITH A SETBACK THERMOSTAT THAT MEET THE

REQUIREMENTS OF SECTION 110.2(C). [150.0(I)] GAS OR PROPANE WATER HEATERS SHALL HAVE: [150.0(N)] A 120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER.

A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE. CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE. A GAS SUPPLY LINE WITH A CAPACITY OF AT LEAST 200,000 BTU/HR ALL PUMPS AND PUMP MOTORS INSTALLED SHALL BE LISTED IN THE COMMISSION'S DIRECTORY OF

CERTIFIED EQUIPMENT AND SHALL COMPLY WITH THE APPLIANCE EFFICIENCY REGULATIONS. [150.0(P)1.A] THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT OF ANY LOOSE-FILL INSULATION SHALL CONFORM MAINTENANCE MANUAL FOR THAT PARTICULAR MODEL AND TYPE OF FEATURE, MATERIAL, COMPONENT OR WITH THE INSULATION MANUFACTURER'S LABELED R-VALUE. [150.0 (B)] THE MINIMUM DEPTH OF CONCRETE-SLAB FLOOR PERIMETER INSULATION SHALL BE 16 INCHES OR THE

DEPTH OF THE FOOTING OF THE BUILDING, WHICHEVER IS LESS. [150.1(C)(1)(D)] THE CRAWL SPACE SHALL BE COVERED WITH A VAPOR RETARDER OVER THE ENTIRE FLOOR. [150.1(C)1.D] INSULATIONS ARE REQUIRED FOR: [150.0(J)2.A]

ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN FIXTURES. ALL PIPING WITH A NOMINAL DIAMETER OF 3/4 INCH OR LARGER THE FIRST 5 FEET (1.5 METERS) OF HOT AND COLD WATER PIPES FROM THE STORAGE TANK.

ALL PIPING ASSOCIATED WITH A DOMESTIC HOT WATER RECIRCULATION SYSTEM. PIPING FROM THE HEATING SOURCE TO STORAGE TANK OR BETWEEN TANKS. PIPING BURIED BELOW GRADE. INSULATION SHALL BE PROVIDED FOR WATER HEATERS AS FOLLOWS:

UNFIRED HOT WATER TANKS, SUCH AS STORAGE TANKS AND BACKUP STORAGE TANKS FOR SOLAR WATER-HEATING SYSTEMS, SHALL BE EXTERNALLY WRAPPED WITH INSULATION HAVING AN INSTALLED THERMAL RESISTANCE OF R-12 OR GREATER OR HAVE INTERNAL INSULATION OF AT LEAST R-16 AND A LABEL ON THE EXTERIOR OF THE TANK SHOWING THE INSULATION R-VALUE. [150.0 (J)1]

INSTALLED LUMINAIRES SHALL BE CLASSIFIED AS HIGH-EFFICACY IN ACCORDANCE WITH TABLE

EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS. LUMINARIES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT PERMIT THE LUMINARIES TO BE MANUALLY SWITCHED ON AND OFF.

LIGHTING INSTALLED IN ATTACHED AND DETACHED GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY VACANCY SENSORS.

DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8. EXCEPTION 1: LUMINAIRES IN CLOSETS LESS THAN 70 SQUARE FEET. **EXCEPTION 2: LUMINAIRES IN HALLWAYS.**

A. IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS 20 PERCENT OR LESS OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING FOR THE INTERIOR COMMON AREAS IN THAT BUILDING SHALL BE HIGH EFFICACY LUMINAIRES OR CONTROLLED BY AN OCCUPANT SENSOR.

IN A LOW-RISE MULTIFAMILY RESIDENTIAL BUILDING WHERE THE TOTAL INTERIOR COMMON AREA IN A SINGLE BUILDING EQUALS MORE THAN 20 PERCENT OF THE FLOOR AREA, PERMANENTLY INSTALLED LIGHTING IN THAT BUILDING SHALL I) COMPLY WITH THE APPLICABLE REQUIREMENTS IN SECTIONS 110.9, 130.0, 130.1, 140.6 AND

II) LIGHTING INSTALLED IN CORRIDORS AND STAIRWELLS SHALL BE CONTROLLED BY OCCUPANT SENSORS THAT REDUCE THE LIGHTING POWER IN EACH SPACE BY AT LEAST 50 PERCENT. THE OCCUPANT SENSORS SHALL BE CAPABLE OF TURNING THE LIGHT FULLY ON AND OFF FROM ALL DESIGNED PATHS OF INGRESS AND EGRESS.

FOUNDATION NOTES:

CONCRETE STRENGTH FOR FOUNDATION SHALL BE 2,500 PSI MIN. (CRC R402.2. TABLE R402.2) MINIMUM FOOTING REINFORCEMENT SHALL BE ONE #4 BAR TOP AND BOTTOM (CRC R403.1.3) MINIMUM ANCHOR BOLT SIZE AND SPACING SHALL BE 5.8" DIA. AB @ 72" OC., WITH 7" EMBEDMENT, AND 3" X 3" X 1/4" PLATE WASHERS. ANCHOR BOLTS SHALL BE LOCATED A MAXIMUM OF 12" AND 4 1/2" MINIMUM FROM THE END OF THE PLATE (CRC R403.1.6, R602.11.1).

EXISTING NONCOMPLIANT PLUMBING FIXTURES REPLACEMENT REQUIREMENT:

SENATE BILL 407 (SB 407) REQUIRES NONCOMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS BILL APPLIES TO ALL SINGLE-FAMILY RESIDENTIAL AND MULTI-FAMILY RESIDENTIAL BUILDINGS CONSTRUCTED ON OR BEFORE JANUARY 1, 1994. FIXTURES INCLUDE WATER CLOSETS, URINALS, SHOWERHEADS, LAVATORY FAUCETS, AND KITCHEN FAUCETS. NONCOMPLIANT FIXTURES CAN ONLY BE REPLACED BY FIXTURES COMPLYING WITH REQUIREMENTS OF CALGREEN AND THE CALIFORNIA PLUMBING CODE.

THE WATER-CONCERVING PLUMBING FIXTURES CERTIFICATE OF COMPLIANCE MUST BE SUBMITTED TO THE BUILDING INSPECTOR PRIOR TO THE FINAL BUILDING INSPECTION.

SECURITY REQUIREMENTS:

ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. (6706) SCREENS, BARRICADES, OR FENCES MADE OF A MATERIAL WHICH WOULD PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS

WITHIN 8 FT. OF THE UTILITY POLE OR ACCESS STRUCTURES. (6707) WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. (6709.1) DOOR STOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB, OR JOINED BY RABBET TO THE JAMB. (6709.4)

EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH INCANDESCENT LIGHT BULB (60 WATT MIN) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR SIDE OF THE UNIT. (6708)

ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. (6709.5, 6709.7) PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. DOORS MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, M AND S OCCUPANCIES). (6709.2)

STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". (6709.2) WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 INCH THICK WITH SHAPED PORTIONS OF THE PANELS NOT LESS THAN 1/4 INCH THICK, AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1 3/8 INCHES AND 3 INCHES IN WIDTH. (6709.1 ITEM 2)

SLIDING GLASS DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL FROM THE TRACK WHILE IN THE CLOSED POSITION. (6710) SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND

INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. METAL OR WOODEN OVERHEAD AND SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK,

PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. (6711) PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. (6712)

IN GROUP B, F, M, AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 6 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS OR GRILLES. (6714)

GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED AND LOCKED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY-RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR

GRILLES HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. (6713) LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. (6715.3) OTHER OPENABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN GROUP B, F, M

MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. (6715.2) SLIDING WINDOWS SHALL BE PROVIDED WITH LOCKING DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVAL OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. (6715.1) SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND

AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH

INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN SEC. ANY RELEASE FOR METAL BARS, GRILLES, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLES, GRATES OR

ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS

SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. (6715.4)

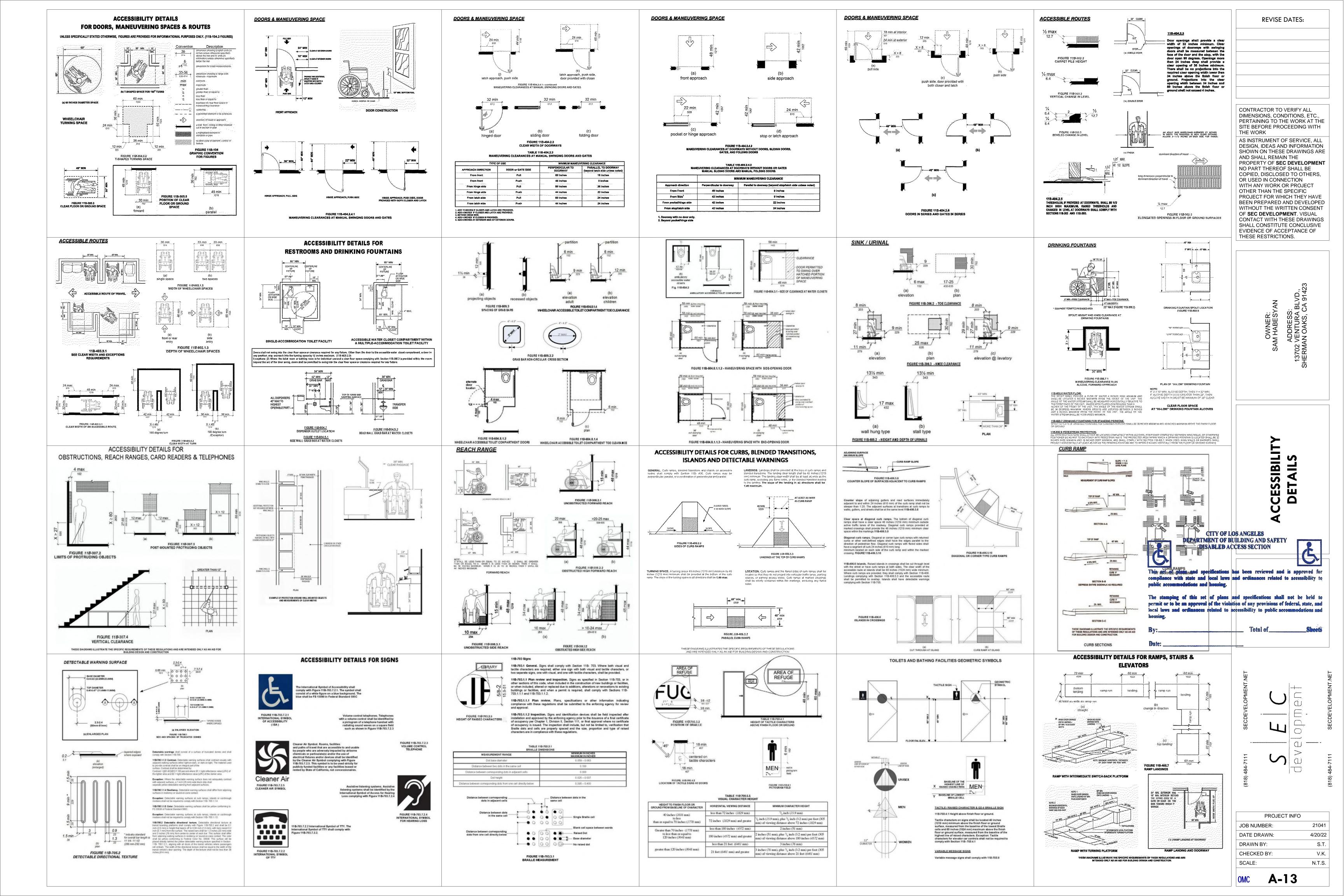
THAN 6 INCHES IN ONE DIMENSION. (6716)

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

REVISE DATES:

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF **SEC DEVELOPMENT** NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF **SEC DEVELOPMENT**. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN S.T. DRAWN BY: V.K. CHECKED BY: SCALE: N.T.S.



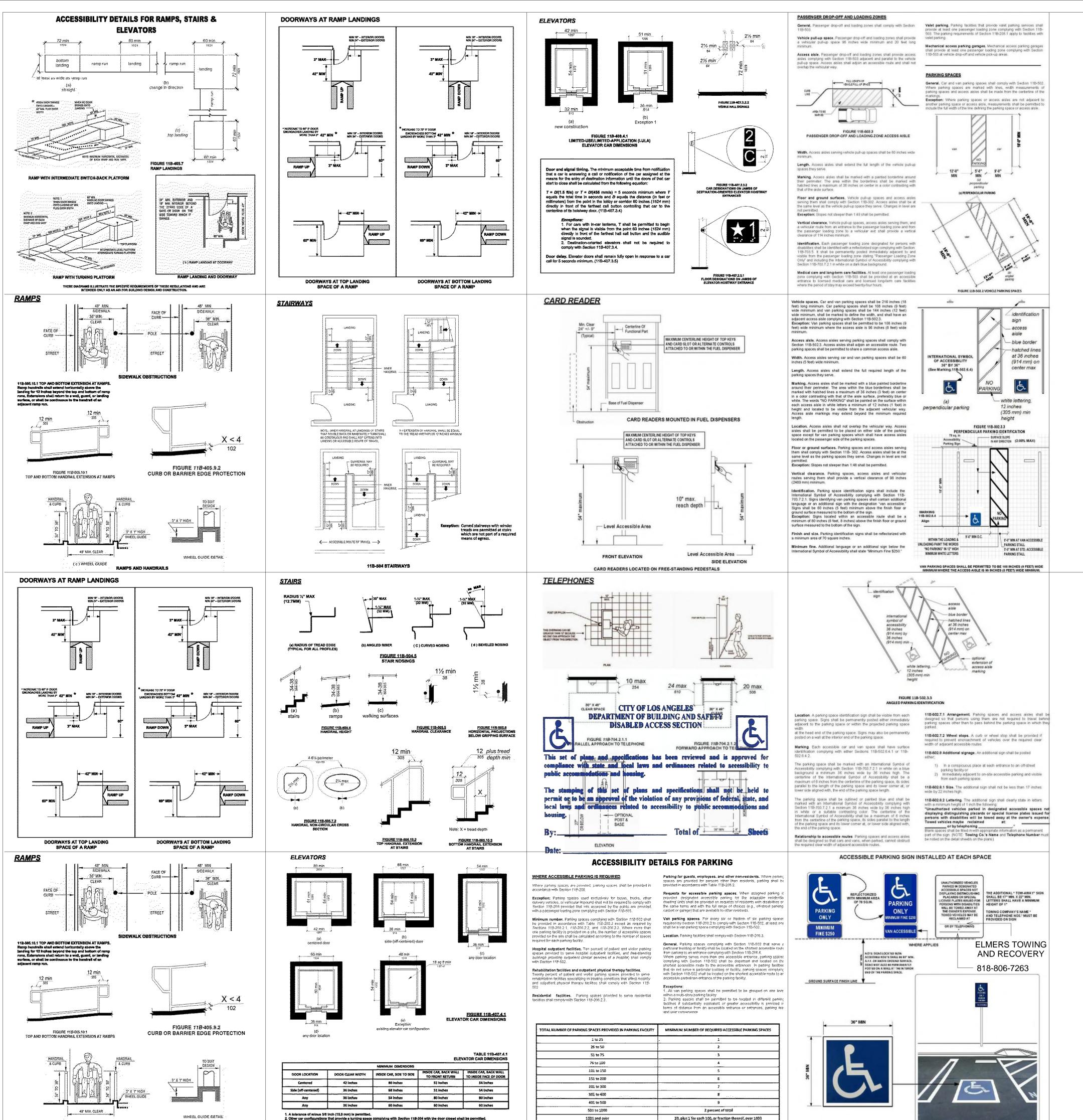


TABLE 118-208.2 PARKING SPACES

(c) WHEEL GUIDE

RAMPS AND HANDRAILS



DBS INFORMATION BULLETIN / PUBLIC - BUILDING CODE REFERENCE NO: Various DOCUMENT NO: P/BC 2020-143 PREVIOUSLY ISSUED AS: 2017-143

EFFECTIVE: 01-01-2020 REVISED:

GENERAL NOTES FOR COMMERCIAL ACCESSIBILITY

NOTE: Code references are to the 2020 edition of the Los Angeles Building Code

The State of California delegates authority to the local jurisdiction to ensure compliance with Title 24, Part 2 of the California Code of Regulations. The following general notes indicate specific areas of Title 24, Part 2 which are applicable to your project. Please be aware that the owner(s) of the building and his/her consultants are responsible for compliance with the most current Federal Regulations contained in the Americans with Disabilities Act (ADA) and Fair Housing Act (FHA). Where the ADA & FHA requirements exceed those contained in Title 24, Part 2, it is the responsibility of the owners and their consultants to ensure compliance with the most current ADA & FHA regulations, as the City is not authorized to review plans or inspect projects for ADA & FHA compliance.

The following, applicable, general notes shall be provided on the plans.

A. APPLICATION AND ADMINISTRATION

1. Public accommodations shall maintain in operable working condition those features of facilities and equipment that are required to be accessible to and useable by persons with disabilities. Isolated or temporary interruptions in service or accessibility due to maintenance or repairs shall be permitted. §11B-

B. BUILDING BLOCKS

FLOOR OR GROUND SURFACES

- Floor and ground surfaces shall be stable, firm, and slip resistant. §11B-302.1
- 2. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Pile height shall be 1/2 inch maximum. §11B-302.2, Figure 11B-302.2

CHANGES IN LEVEL

- 3. Vertical changes in level for floor or ground surfaces may be 1/4 inch high maximum and without edge treatment. Changes in level greater than ¼ inch and not exceeding ½ inch in height shall be beveled with a slope not steeper than 1:2. §11B-303, Figures 11B-303.2 & 11B-303.3
- 4. Changes in level greater than 1/2 inch in height shall be ramped and shall comply with the requirements of 11B-405 Ramps or 11B-406 Curb Ramps as applicable. §11B-303
- 5. Abrupt changes in level exceeding 4 inches in a vertical dimension between walks, sidewalks or other pedestrian ways and adjacent surfaces or features shall be identified by warning curbs at least 6 inches in height above the walk or sidewalk surface or by guards or handrails with a guide rail centered 2 inches minimum and 4 inches maximum above the surface of the walk or sidewalk. These requirements do not apply between a walk or sidewalk and an adjacent street or driveway. §11B-303.5

TURNING SPACE

- 6. Circular turning spaces shall be a space of 60 inches diameter minimum and may include knee and toe clearance complying with 11B-306 Knee and Toe Clearance. §11B-304.3.1
- 7. T-Shaped turning spaces shall be a T-shaped space within a 60 inch square minimum with arms and base 36 inches wide minimum. Each arm of the T shall be clear of obstructions 12 inches minimum in each direction and the base shall be clear of obstructions 24 inches minimum. §11B-304.3.2, Figure 11B-304.3.2

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.



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KNEE AND TOE CLEARANCE

- 8. For lavatories and built-in dining and work surfaces required to be accessible, toe clearance shall be provided that is 30 inches in width and 9 inches in height above the finish floor or ground for a depth of 19 inches minimum, §11B-306.2.1
- 9. Toe clearance shall extend 19 inches maximum under lavatories for toilet and bathing facilities and 25 inches maximum under other elements. §11B-306.2.2
- At lavatories in toilet and bathing facilities, knee clearance shall be provided that is 30 inches in width for a depth of 11 inches at 9 inches above the finish floor or ground and for a depth of 8 inches at 27 inches above the finish floor or ground increasing to 29 inches high minimum above the finish floor or ground at the front edge of a counter with a built-in lavatory or at the front edge of a wall-mounted lavatory fixture. §11B-306.3.3, Figure 11B-306.3(c)
- 11. At dining and work surfaces required to be accessible, knee clearance shall be provided that is 30 inches in width at 27 inches above the finish floor or ground for a depth of at least 19 inches. §11B-306.3

PROTRUDING OBJECTS

- 12. Except for handrails, objects with leading edges more than 27 inches and less than 80 inches above the finish floor or ground shall protrude no more than 4 inches horizontally into the circulation path. Handrails may protrude 41/2 inches maximum. §11B-307.2, Figure 11B-307.2
- 13. Freestanding objects mounted on posts or pylons shall overhang circulation paths no more than 12 inches when located from 27 to 80 inches above the finish floor or ground. §11B-307.3, Figure 11B-307.3(a)
- Protruding objects shall not reduce the clear width required for accessible routes. §11B-307.5
- Lowest edge of a sign or other obstruction, when mounted between posts or pylons separated with a clear distance greater than 12 inches, shall be less than 27 inches or more than 80 inches above the finish floor or ground. §11B-307.3, Figure 11B-307.3(b)
- 16. Vertical clearance shall be at least 80 inches high on circulation paths except at door closers and door stops, which may be 78 inches minimum above the finish floor or ground. §11B-307.4
- 17. Guardrails or other barriers with a leading edge located 27 inches maximum above the finish floor or ground shall be provided where the vertical clearance on circulation paths is less than 80 inches high. §11B-307.4,
- 18. Where a guy support is used within either the width of a circulation path or 24 inches maximum outside of a circulation path, a vertical guy brace, sidewalk guy or similar device shall be used to prevent a hazard or an overhead obstruction. §11B-307.4.1, Figure 11B-307.4.1

REACH RANGES

- 19. Electrical controls and switches intended to be used by the occupant of a room or area to control lighting and receptacle outlets, appliances or cooling, heating and ventilating equipment shall be located within allowable reach ranges. Low reach shall be measured to the bottom of the outlet box and high reach shall be measured to the top of the outlet box. §11B-308.1.1
- 20. Electrical receptacle outlets on branch circuits of 30 amperes or less and communication system receptacles shall be located within allowable reach ranges. Low reach shall be measured to the bottom of the outlet box and high reach shall be measured to the top of the outlet box. §11B-308.1.2.
- 21. High forward reach that is unobstructed shall be 48 inches maximum and the low forward reach shall be 15 inches minimum above the finish floor or ground. §11B-308.2.1, Figure 11B-308.2.1
- 22. High forward reach shall be 48 inches maximum where the reach depth is 20 inches or less and 44 inches maximum where the reach depth exceeds 20 inches. High forward reach shall not exceed 25 inches in depth. §11B-308.2.2, Figure 11B-308.2.2
- 23. High side reach shall be 48 inches maximum and the low side reach shall be 15 inches minimum above the finish floor where the side reach is unobstructed or the depth of any obstruction does not exceed 10 inches. §11B-308.3.1, Figure 11B-308.3.1

accommodation to ensure equal access to its programs, services and activities

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK AS INSTRUMENT OF SERVICE, ALL

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ADDRESS: 3702 VENTURA BLVD., ERMAN OAKS, CA 91*4*;

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PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN: S.T. DRAWN BY: CHECKED BY: V.K. N.T.S. SCALE:

- 24. High side reach shall be 46 inches maximum above the finish floor or ground where the high side reach is over an obstruction more than 10 inches but not more than 24 inches in depth. §11B-308.3.2, Figure 11B-
- Obstructions for high side reach shall not exceed 34 inches in height and 24 inches in depth. §11B-308.3.2, Figure 11B-308.3.2
- 26. Obstructed high side reach for the top of washing machines and clothes dryers shall be permitted to be 36 inches maximum above the finish floor. §11B-308.3.2
- 27. Obstructed high side reach for the operable parts of fuel dispensers shall be permitted to be 54 inches maximum measured from the surface of the vehicular way where fuel dispensers are installed on existing curbs. §11B-308.3.2

OPERABLE PARTS

- 28. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. Force required to activate operable parts shall be 5 pounds maximum. §11B-309.4
- C. ACCESSIBLE ROUTES

DETECTABLE WARNINGS AND DETECTABLE DIRECTIONAL TEXTURE

- Detectable warning surfaces shall be yellow and approximate FS 33538 of Federal Standard 595C. §11B-705.1.1.3.1
- Detectable warning surfaces shall provide a 70 percent minimum visual contrast with adjacent walking surfaces. Contrast in percent shall be determined by:
 - Contrast percent = [(B1-B2)/B1] x 100 where
 - B1 = light reflectance value (LRV) of the lighter area and
 - B2 = light reflectance value (LRV) of the darker area
 - §11B-705.1.1.3.2 (See exception)

DOORS, DOORWAYS, AND GATES

- Doors, doorways, and gates providing user passage shall be provided in accordance with 11B-206.5 Doors, Doorways, and Gates. §11B-206.5
- 4. Doors, doorways and gates that are part of an accessible route shall comply with 11B-404 Doors, Doorways, and Gates. §11B-404.1
- 5. Door openings shall provide a clear width of 32 inches minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop, with the door open 90 degrees. Openings more than 24 inches deep shall provide a clear opening of 36 inches minimum. There shall be no projections into the required clear opening width lower than 34 inches above the finish floor or ground. Projections into the clear opening width between 34 inches and 80 inches above the finish floor or ground shall not exceed 4 inches. §11B-404.2.3
- Swinging doors and gates shall have maneuvering clearances complying with Table 11B-404.2.4.1. §11B-
- 7. Doorways less than 36 inches wide without doors or gates, sliding doors, or folding doors shall have maneuvering clearances complying with Table 11B-404.2.4.2. §11B-404.2.4.2
- Maneuvering clearances for forward approach shall be provided when any obstruction within 18 inches of the latch side an interior doorway, or within 24 inches of the latch side of an exterior doorway, projects more than 8 inches beyond the face of the door, measured perpendicular to the face of the door or gate. §11B-404.2.4.3
- 9. Thresholds, if provided at doorways, shall be 1/2 inch high maximum. Raised thresholds and changes in level at doorways shall comply with 11B-302 Floor or Ground Surfaces and 11B-303 Changes in Level. §11B-
- Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 11B-309.4 Operation. Operable parts of such hardware shall be 34 inches minimum and 44 inches maximum above As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable

accommodation to ensure equal access to its programs, services and activitie Page 3 of 10



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include a raised five pointed star located to the left of the identifying floor level. The outside diameter of the star shall be the same as the height of the raised characters. §11B-504.8

CURB RAMPS. BLENDED TRANSITIONS AND ISLANDS

- Perpendicular ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-406.2.1
- 50. For perpendicular ramps, where provided, curb ramp flares shall not be steeper than 1:10. §11B-406.2,
- 51. The running slope of the curb ramp segments shall be in-line with the direction of sidewalk travel. Ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-406.3.1, Figure 11B-406.3.2
- 52. A turning space 48 inches minimum by 48 inches minimum shall be provided at the bottom of the curb ramp. The slope of the turning space in all directions shall be 1:48 maximum (2.083%). §11B-406.3.2
- Blended transition ramps hall have a running slope not steeper than 1:20 (5%). §11B-406.4.1
- 54. Curb ramps and the flared sides of curb ramps shall be located so that they do not project into vehicular traffic lanes, parking spaces, or parking access aisles. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides. §11B-406.5.1
- 55. The clear width of curb ramp runs (excluding any flared sides), blended transitions, and tuming spaces shall be 48 inches minimum. §11B-406.5.2
- 56. Landings shall be provided at the tops of curb ramps and blended transitions (parallel curb ramps shall not be required to comply). The landing clear length shall be 48 inches minimum. The landing clear width shall be at least as wide as the curb ramp, excluding any flared sides, or the blended transition leading to the landing. The slope of the landing in all directions shall be 1:48 (2.083%) maximum. §11B-406.5.3
- 57. Grade breaks at the top and bottom of curb ramp runs shall be perpendicular to the direction of the ramp run. Grade breaks shall not be permitted on the surface of ramp runs and turning spaces. Surface slopes that meet at grade breaks shall be flush. §11B-406.5.6
- 58. The cross slope of curb ramps and blended transitions shall be 1:48 (2.083%) maximum. §11B-406.5.7
- 59. Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1:20 (5%). The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level. §11B-406.5.8
- 60. The bottom of diagonal curb ramps shall have a clear space 48 inches minimum outside active traffic lanes of the roadway. Diagonal curb ramps provided at marked crossings shall provide the 48 inches minimum clear space within the markings. §11B-406.5.9
- 61. Curb ramps and blended transitions shall have detectable warnings complying with 11B-705 Detectable Warnings, §11B-406.5.12
- 62. Raised islands in crossings shall be cut through level with the street or have curb ramps at both sides. The clear width of the accessible route at islands shall be 60 inches wide minimum. Where curb ramps are provided, they shall comply with 11B-406 Curb Ramps, Blended Transitions and Islands. Landings complying with 11B-406.5.3 Landings and the accessible route shall be permitted to overlap. Islands shall have detectable warnings complying with 11B-705 Detectable Warnings and Detectable Directional Texture. §11B-406.6, Figure 11B-406.6

D. GENERAL SITE AND BUILDING ELEMENTS

- 1. Where parking spaces are provided, accessible parking spaces shall be provided in number and kind required per Section 11B-208 Parking Spaces. §11B-208.1
- 2. Where passenger loading zones, drop-off zones, and/or bus stops are provided, accessible passenger loading zones, drop-off zones, and/or bus stops are required.
- 3. Where Electric vehicle charging stations (EVCS) are provided, they shall comply with Section 11B-812 as required by
- 4. EVCS complying with Section 11B-812 that serve a particular building or facility shall be located on an accessible route to an entrance complying with Section 11B-206.4. Where EVCS do not serve a particular building or facility, EVCS complying with Section 11B-812 shall be located on an accessible route to an accessible pedestrian entrance of the EV

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the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides. §11B-404.2.7

- 11. The force for pushing or pulling open a door or gate other than fire doors shall be as follows: §11B-404.2.9 a. Interior hinged doors and gates: 5 pounds maximum. b. Sliding or folding doors: 5 pounds maximum.
- c. Required fire doors: the minimum opening force allowable by the appropriate administrative authority, not to exceed 15 pounds.
- d. Exterior hinged doors: 5 pounds maximum.
- 12. Swinging door and gate surfaces within 10 inches of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch of the same plane as the other and be free of sharp or abrasive edges. Cavities created by added kick plates shall be capped. §11B-404.2.10

RAMPS

- Ramp runs shall have a running slope not steeper than 1:12 (8.33%). §11B-405.2
- 14. Cross slope of ramp runs shall not be steeper than 1:48 (2.083%). §11B-405.3
- 15. Floor or ground surfaces of ramp runs shall comply with 11B-302 Floor or Ground Surfaces. Changes in level other than the running slope and cross slope are not permitted on ramp runs. §11B-405.4
- The clear width of a ramp run shall be 48 inches minimum. §11B-405.5
- The rise for any ramp run shall be 30 inches maximum. §11B-405.6
- Ramps shall have landings at the top and the bottom of each ramp run. §11B-405.7
- Landings shall comply with 11B-302 Floor or Ground Surfaces. Changes in level are not permitted. §11B-
- 20. The landing clear width shall be at least as wide as the widest ramp run leading to the landing. §11B-
- Top landings shall be 60 inches wide minimum. §11B-405.7.2.1
- 22. The landing clear length shall be 60 inches long minimum. §11B-405.7.3
- Bottom landings shall extend 72 inches minimum in the direction of ramp run. §11B-405.7.3.1
- 24. Ramps that change direction between runs at landings shall have a clear landing 60 inches minimum by 72 inches minimum in the direction of downward travel from the upper ramp run. §11B-405.7.4
- Where doorways are located adjacent to a ramp landing, maneuvering clearances required by 11B-404.2.4 and 11B-404.3.2 shall be permitted to overlap the required landing area. Doors, when fully open, shall not reduce the required ramp landing width by more than 3 inches. Doors, in any position, shall not reduce the minimum dimension of the ramp landing to less than 42 inches. §11B-405.7.5
- Ramp runs shall have compliant handrails per 11B-505 Handrails. §11B-405.8
- 27. Edge protection complying with 11B-405.9.2 Curb or Barrier shall be provided on each side of ramp runs and at each side of ramp landings. §11B-405.9 (See exceptions)
- 28. A curb or barrier shall be provided that prevents the passage of a 4 inch diameter sphere, where any portion of the sphere is within 4 inches of the finish floor or ground surface. To prevent wheel entrapment, the curb or barrier shall provide a continuous and uninterrupted barrier along the length of the ramp. §11B-405.9.2
- 29. Landings subject to wet conditions shall be designed to prevent the accumulation of water. §11B-405.10

HANDRAILS

LABDBS

DRINKING FOUNTAINS

- Handrails shall be provided on both sides of stairs and ramps. §11B-505.2
- 31. Handrails shall be continuous within the full length of each stair flight or ramp run. Inside handrails on switchback or dogleg stairs and ramps shall be continuous between flights or runs. §11B-505.3
- 32. Top of gripping surfaces of handrails shall be 34 inches minimum and 38 inches maximum vertically above walking surfaces, stair nosings, and ramp surfaces. Handrails shall be at a consistent height above walking surfaces, stair nosings, and ramp surfaces. §11B-505.4

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anliance with state and local laws and ordinances related to accessibility to

The stamping of this set of plans and specifications shall not be held t permit or to be an approval of the violation of any provisions of federal, state, and local laws and ordinances related to accessibility to public accommodations and 1. Drinking fountains shall comply with Sections 11B-307 Protruding Objects and 11B-602 General

Total of

Requirements. §11B-602.1 Units shall have a clear floor or ground space complying with Section 11B-305 Clear Roor or Ground Space positioned for a forward approach and centered on the unit. Knee and toe clearance complying with Section 11B-306 Knee and Toe Clearance shall be provided. §11B-602.2

- 3. Spout outlets shall be 36 inches maximum above the finish floor or ground. §11B-602.4
- 4. The spout shall be located 15 inches minimum from the vertical support and 5 inches maximum from the front edge of the unit, including bumpers. §11B-602.5
- The spout shall provide a flow of water 4 inches high minimum and shall be located 5 inches maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches from the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches and 5 inches maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum. §11B-602.6
- 6. Spout outlets of drinking fountains for standing persons shall be 38 inches minimum and 43 inches maximum above the finish floor or ground. §11B-602.7
- Wall and post-mounted cantilevered drinking fountains shall be 18 inches minimum and 19 inches maximum
- 8. All drinking fountains shall either be located completely within alcoves, positioned completely between wing walls, or otherwise positioned so as not to encroach into pedestrian ways. The protected area within such a drinking fountain is located shall be 32 inches wide minimum and 18 inches deep minimum, and shall comply with Section 11B-305.7 Maneuvering Clearance. When used, wing walls or barriers shall protect horizontally at least as far as the drinking fountain and to within 6 inches vertically from the floor or ground surface. §11B-602.9

TOILET AND BATHING ROOM CLEARANCES

E. PLUMBING FIXTURES AND FACILITIES

- 9. Doors to unisex toilet rooms and unisex bathing rooms shall have privacy latches. §11B-213.2.1
- 10. Mirrors located above the lavatories or countertops shall be installed within the bottom edge of the reflecting surface 40 inches maximum above the finish floor or ground. Mirrors not located above the lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches maximum above the finish floor or ground. §11B-603.3
- 11. Coat hooks shall be located within one of the reach ranges specified in Section 11B-308. Shelves shall be located 40 inches minimum and 48 inches maximum above the finish floor. Medicine cabinets shall be located with a usable shelf no higher than 44 inches maximum above the finish floor. §11B-603.4
- 12. Where towel or sanitary napkin dispensers, waste receptacles, or other accessories are provided in toilet facilities, at least one of each type shall be located on an accessible route. All operable parts, including coin slots, shall be 40 inches maximum above the finish floor. Baby changing stations are not required to comply with Section 11B-603.5 (See exception) §11B-603.5

WATER CLOSETS AND TOILET COMPARTMENTS

- Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 11B-309.4 Operation except they shall be located 44 inches maximum above the floor. Flush controls shall be located on the open side of the water closet except in ambulatory accessible compartments complying with Section 11B-604.8.2 Ambulatory Accessible Compartments. §11B-604.6
- 14. Toilet paper dispensers shall comply with Section 11B-309.4 Operation and shall be 7 inches minimum and 9 inches maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be below the grab bar, 19 inches minimum above the finish floor and shall not be located behind the grab bars. Dispensers shall not be of a type that control delivery or that does not allow continuous paper flow. §11B-604.7

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- Clearance between handrail gripping surfaces and adjacent surfaces shall be 1½ inches minimum. Handrails may be located in a recess if the recess is 3 inches maximum deep and 18 inches minimum clear above the top of the handrail. §11B-505.5
- 34. Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops or sides. The bottoms of handrail gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur 1½ inches minimum below the bottom of the
- 35. Handrail gripping surfaces with a circular cross section shall have an outside diameter of 11/4 inches minimum and 2 inches maximum. §11B-505.7.1
- 36. Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 inches minimum and 61/4 inches maximum, and a cross-section dimension of 21/4 inches maximum. §11B-505.7.2
- 37. Handrail gripping surfaces shall extend beyond and in the same direction of stair flights and ramp runs in accordance with Section 11B-505.10 Handrail Extensions. §11B-505.10
- 38. Ramp handrails shall extend horizontally above the landing for 12 inches minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent ramp run. §11B-505.10.1
- 39. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches minimum beginning directly above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. §11B-505.10.2
- 40. At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance equal to one tread depth beyond the last riser nosing. The horizontal extension of a handrail shall be 12 inches long minimum and a height equal to that of the sloping portion of the handrail as measured above the stair nosings. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight. §11B-505.10.3

STAIRWAYS

- 41. A stair is defined as a change in elevation, consisting of one or more risers. §11B-202
- 42. All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be 4 inches high minimum and 7 inches high maximum. Treads shall be 11 inches deep minimum. Curved stairways with winder treads are permitted at stairs which are not part of a required means of egress. (See exception) §11B-504.2
- 43. Open risers are not permitted. §11B-504.3 (See exceptions)

handrail-gripping surface. §11B-505.6

- 44. Interior stairs shall have the upper approach and lower tread marked by a stripe providing clear visual contrast. Exterior stairs shall have the upper approach and all treads marked by a stripe providing clear visual contrast. The stripe shall be a minimum of 2 inches wide to a maximum of 4 inches wide placed parallel to, and not more than 1 inch from, the nose of the step or upper approach. The stripe shall extend the full width of the step or upper approach and shall be of material that is at least as slip resistant as the other treads of the stair. A painted stripe shall be acceptable. Grooves shall not be used to satisfy this requirement. §11B-504.4.1
- 45. The radius of curvature at the leading edge of the tread shall be 1/2 inch maximum. Nosings that project beyond risers shall have the underside of the leading edge curved or beveled. Risers shall be permitted to slope under the tread at an angle of 30 degrees maximum from vertical. The permitted projection of the nosing shall extend 11/4 inches maximum over the tread below. §11B-504.5 (See exception for existing buildings)
- 46. Stairs shall have handrails complying with Section 11B-505 Handrails. §11B-504.6
- Stair treads and landings subject to wet conditions shall be designed to prevent the accumulation of water. §11B-504.7
- 48. Floor identification signs required by Chapter 10, Section 1022.9 complying with Sections 11B-703.1 Signs General, 11B-703.2 Raised Characters, 11B-703.3 Braille and 11B-703.5 Visual Characters shall be located at the landing of each floor level, placed adjacent to the door on the latch side, in all enclosed stairways in buildings two or more stories in height to identify the floor level. At the exit discharge level, the sign shall

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LABDBS

P/GI 2020-143

- Sanitary napkin disposal units, if provided, shall comply with Section 11B-309.4 and shall be wall mounted and located on the sidewall between the rear wall of the toilet and the toilet paper dispenser, adjacent to the toilet paper dispenser. The disposal unit shall be located below the grab bar with the opening of the disposal unit 19 inches minimum (483 mm) above the finish floor. §11B-604.7.2
- Urinals shall be the stall-type or the wall-hung type with the rim 17 inches maximum above the finish floor or ground. Urinals shall be 131/2 inches deep minimum measured from the outer face of the urinal rim to the back of the fixture. §11B-605.2
- 17. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with Section 11B-309 Operable Parts except that the flush control shall be mounted at a maximum height of 44 inches above the finish floor. §11B-605.4
- 18. For lavatories and sinks, a clear floor space complying with Section 11B-305 Clear Floor or Ground Surfaces, positioned for a forward approach, and knee and toe clearance complying with Section 11B-308 Knee and Toe Clearance shall be provided. §11B-606.2
- 19. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34 inches maximum above the finish floor or ground, §11B-606.3

SIGNS RELATED TO TOILETS AND BATHING FACILITIES

- 20. Entrances leading to toilet rooms and bathing rooms complying with 11B-603 Toilet and Bathing Rooms shall be identified by a geometric symbol complying with 11B-703.7.2.6 Toilet and Bathing Room Geometric Symbols. Where existing toilet rooms or bathing rooms do not comply with 11B-603 Toilet and Bathing Rooms, directional signs indicating the location of the nearest compliant toilet room or bathing room within the facility shall be provided. Signs shall comply with 11B-703.5 Visual Characters and shall include the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA. Where existing toilet rooms or bathing rooms do not comply with 11B-603 Toilet and Bathing Rooms, the toilet rooms or bathing rooms complying with 11B-603 Toilet and Bathing Rooms shall be identified by the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA. Where clustered single user toilet rooms or bathing facilities are permitted to use exceptions to 11B-213.2 Toilet and Bathing Rooms, toilet rooms or bathing facilities complying with 11B-603 Toilet and Bathing Rooms shall be identified by the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA unless all toilet rooms and bathing facilities comply with 11B-603 Toilet and Bathing Rooms. Existing buildings that have been remodeled to provide specific toilet rooms or bathing rooms for public use that comply with these building standards shall have the location of and the directions to these rooms posted in or near the building lobby or entrance on a sign complying with 11B-703.5 Visual Characters, including the International Symbol of Accessibility complying with 11B-703.7.2.1 ISA. §11B-216.8
- Pictograms shall comply with the following:
- a. Pictograms shall have a field height of 6 inches minimum. Characters and Braille shall not be located in the pictogram field. §11B-703.6.1
- b. Pictograms and their field shall have a non-glare finish. Pictograms shall contrast with their field with either a light pictogram on a dark field or a dark pictogram on a light field. §11B-703.6.2
- c. Pictograms shall have text descriptors located directly below the pictogram field. Text descriptors shall comply with 11B-703.2 Raised Characters, 11B-703.3 Braille and 11B-703.4 Installation Height and Location. §11B-703.6.3
- d. The installation height and location of Pictogram signs shall be per §11B-703.4.1.

Symbols shall comply with the following:

modation to ensure equal access to its programs, services and activities

- a. Doorways leading to toilet rooms and bathing rooms shall be identified by a geometric symbol complying with 11B-703.7.2.6 Toilet and Bathing Facilities Geometric Symbols. The symbol shall be mounted at 58 inches minimum and 60 inches maximum above the finish floor or ground surface measured from the centerline of the symbol. Where a door is provided, the symbol shall be mounted within 1 inch of the vertical centerline of the door. §11B-703.7.2.6 (See exception)
- b. A triangle symbol shall be located at entrances to men's toilet and bathing facilities and it shall be identified by an equilateral triangle, 1/4 inch thick with edges 12 inches long and a vertex pointing upward. The triangle symbol shall contrast with the door, either light on a dark background or dark on a light background, §11B-703.7.2.6.1 As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable

Page 8 of 10

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK

AS INSTRUMENT OF SERVICE, ALL DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF **SEC DEVELOPMENT**. VISUAL CONTACT WITH THESE DRAWINGS

SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF

THESE RESTRICTIONS.

ADDRESS: 3702 VENTURA BLVD., ERMAN OAKS, CA 914;

ш S S

PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN S.T. DRAWN BY: CHECKED BY: V.K. SCALE: N.T.S.

projects.

STORM WATER POLLUTION CONTROL (2020 Los Angeles Green Building Code)

Storm Water Pollution Control Requirements for Construction Activities

The following notes shall be incorporated in the approved set of construction/grading plans and

(Order No. 01-182, NPDES Permit No. CAS004001 - Part 5: Definitions)

sheet flow, swales, area drains, natural drainage or wind.

contamination of storm water and dispersal by wind.

properly located to collect all tributary site runoff.

provide reasonable accommodation to ensure equal access to its programs, services and addition

and maintained on-site during the construction duration.

transported from the site by wind or water.

not be washed into the drainage system.

on the project site.

(Rev. 01/01/20)

by rain or by any other means.

Minimum Water Quality Protection Requirements for All Construction Projects

represents the minimum standards of good housekeeping which must be implemented on all construction

Construction means constructing, clearing, grading or excavation that result in soil disturbance.

Construction includes structure teardown (demolition). It does not include routine maintenance to maintain

original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities

required to immediately protect public health and safety, interior remodeling with no outside exposure of

construction material or construction waste to storm water, mechanical permit work, or sign permit work.

Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via.

2. Stockpiles of earth and other construction related materials shall be covered and/or protected from being

protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall

4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained

5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions

6. Trash and construction -related solid wastes must be deposited into a covered receptacle to prevent

7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction

8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be

9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be

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street/public ways. Accidental depositions must be swept up immediately and may not be washed down

conveyed to the street and the storm drain system provided that an approved filtering system is installed

entrance roadways must be stabilized so as to inhibit sediments from being deposited into the

shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.

3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall

not contaminate the soil nor the surface waters. All approved toxic storage containers are to be

FORM



subsystems:

2020 Los Angeles Green Building Code

FORM

2020 Los Angeles Green Building Code

FORM GRN 10

MANDATORY REQUIREMENTS CHECKLIST

ADDITIONS AND ALTERATIONS TO NON-RESIDENTIAL BUILDINGS (COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

XXXXX-XXXXX-XXXXX X/XX/20 Permit # REFERENCE COMMENTS SHEET ITEM CODE REQUIREMENTS Sheet # SECTION e.g. note #, detail # or N/A or reason for N/A PLANNING AND DESIGN Storm water drainage and retention during 1 5.106.1 A-2 SITE PLAN construction Short-term bicycle parking FLOOR PLAN 2 5.106.4.1.1 ≥ 10 vehicular parking spaces) A-2 SITE PLAN Long-term bicycle parking A-2 A-17 SITE PLAN > 10 vehicular parking spaces) GRN 15 #1 Designated parking A-2 4 5.106.5.2 SITE PLAN ≥ 10 vehicular parking spaces) SITE PLAN A-2 5 | 5.106.10 | Grading and Paving ENERGY EFFICIENCY 6 5.211.1 Solar ready (additions ≥ 2,000 sq. ft.) A-3 ROOF PLAN WATER EFFICIENCY & CONSERVATION 7 5.303.1.1 Additions in excess of 50,000 sq. ft. GRN 18N NOTE #1 A-17 GRN 15 NOTE #2 8 5.303.1.2 Excess consumption 9 5.303.2 Water reduction GRN 18N NOTE #2 A-17 10 5.303.3 Water conserving plumbing fixtures and fittings A-17 GRN 15 NOTE #3 11 5.303.3.3 Showerheads __NO SHOWER_ ___N/A_____′ Outdoor water use in landscape areas 12 5.304.1 _NO LANDSCAPE_ 13 5.304.3 Irrigation controller and sensor application _N/A_____ _NO LANDSCAPE_ 14 5.304.4 Outdoor water use meters ___A-17_____GRN 18N NOTE #4_ 15 5.304.5 Exterior faucets A-17____ __GRN 18N NOTE #6_ 16 5.305.1 Graywater ready _NO GRAYWATER_ 17 5.305.2 Recycled water supply to fixtures _____GRN 18N NOTE #8_ MATERIAL CONSERVATION & RESOURCE EFFICIENCY GRN 18N NOTE #9 18 5.407.1 Weather protection

	ans with Disabilities Act, the City of Los Argeles does not discriminate on t equal access to its programs, services and activities.	he basis of disability and, upon request, will
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GREEN BUILDING CODE PLAN CHECK NOTES

A-17

N/A

A-17

A-14

with the Volatile Organic Compound (VOC) limits listed in Tables 5.504.4.1-

verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the

21. All new carpet installed in the building interior meets the testing and product

California Department of Public Health's Specification 01350

Scientific Certifications Systems Indoor Advantage™ Gold

22. All new carpet cushion installed in the building interior shall meet the

23. New hardwood plywood, particle board, and medium density fiberboard

24. The Formaldehyde Brissions Verification Checklist, Form GRN 3, shall be

Carpet and Rug Institute's Green Label Plus Program

requirements of one of the following:

NSF/ANSI 140 at the Gold level

meet the formaldehyde limits.

more of the following:

intake or operable windows.

additional measures, see Section 5.407.2

b. Certified under UL GREENGUARD Gold

job site and be provided to the field inspector for verification. (5:504.4.3.2)

requirements of the Carp et and Rug Institute Green Label program. (5.504.4.4.1)

composite wood products used in the interior or exterior of the building shall

completed prior to final inspection approval. The manufacturer's specifications

available at the job site and be provided to the field inspector for verification.

25, 80% of the total area receiving new resilient flooring shall comply with one or

a. VOC emission limits defined in the CHPS High Performance Products

d. Meet the California Department of Public Health's Specification 01350

Efficiency Reporting Value (MERV) of 13 or higher. Filters shall be installed

Title 24, Part 2 Sections 1202 (Ventilation) and Chapter 14 (Exterior Walls). For

ventilation controls installed in accordance with the requirements of the current

edition of the California Energy Code, CCR, Title 24, Part 6, Section 121(c).

30. The HVAC, refrigeration, and fire suppression equipment shall not contain CFC

prior to occupancy and recommendations for maintenance with filters of the

ame value shall be included in the operation and maintenance manual.

Mechanically ventilated buildings shall have air filter with a Minimum.

Certification under the Resilient Floor Covering Institute (RFCI) FloorScore

showing formaldehyde content for all applicable wood products shall be readily

GRN 18N NOTE #10

GRN 15 NOTE #7

GRN 15 NOTE #8

SEE FLOOR PLAN

SEE FLOOR PLAN

SEE DETAILS

GRN 15

(5.504.4.4)

PLUMBING FIXTURE FLOW RATES

FORM **GRN 17**

SECTION 5.303.2

FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE
Showerheads	1.8 gpm @ 80 psi
Lavatory faucets, residential	1.2 gpm @ 60 psi ^{1,3}
Lavatory Faucets, nonresidential	0.4 gpm @ 60 psi ^{1,3}
Kitchen faucets	1.5 gpm @ 60 psP4.5
Wash fountains	1.8 gpm for every 20 in. of rim space @60 psi
Metering faucets	0.2 gallons/cycle
Metering faucets for wash fountains	0.2 gpm for every 20 in. of rim space @ 60 psi
Gravity tank type water closets	1.28 gallons/flush ⁸
Flushometer tank water closets	1.28 gallons/flush®
Flushometer valve water closets	1.28 gallons/flush ⁶
Urinals	0.125 gallons@ush
Clothes Washers	ENERGY-STAR certified
Dishwashers	ENERGY-STAR certified

Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi. Fixtichen faucets may temporarily increase flow above the maximum rate, but not above 2.2 gpm @ 60psi

and must default to a maximum flow rate of 1.8 gpm @ 60psi. Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. *Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout

Includes single and dual flush water closets with an effective flush of 1.28 gallons or less. Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME

Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes

NON-RESIDENTIAL BUILDINGS

- For new buildings or additions exceeding 50,000 ft². install a separate water meter or sub-meter for the following areas:
- A. For each individual leased, rented, or other tenant space within the building projected to consume more than 100 gpd (380 L/day).
- Where potable water is used for industrial/process uses, for water supplied to the following
 - a. Makeup water for cooling towers where flow through is greater than 500 gpm (30
 - Makeup water for evaporative coolers greater than 6 gpm (0.04 L/s). c. Steam and hot-water boilers with energy
- input more than 500,000 Btu/h (147 kW). C. For each building that uses more than 100 gpd on a parcel containing multiple buildings.
- 2. Provide a 20% reduction in the overall potable water use for each building. The reduction shall be based on the maximum allowable water use per plumbing fixture and fittings as required by the Los Angeles Plumbing Code. New projects having a water supply of 2"or less and additions and alterations projects may use the prescriptive method outlined in this section.
- 3. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sqft or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (5.304.1, 5.304.2)
- 4. New buildings on a site with 1,000 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (5.304.4)
- Additions and alterations on a site with 1,000 square feet of cumulative landscape area which require water service upgrade shall have separate meters or submeters for outdoor water use. (5.304.4)

- 6. Locks shall be installed on all publicly accessible exterior faucets and hose bibs.
- 8. Except as provided in this section, where Cityrecycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code.
- 9. Cooling towers shall comply with one of the following:
 - to the cooling towers shall come from non-potable water sources, including treated backwash.
- 11. Provide a hot water system complying with one of the
- A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture
- B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall

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WATER CONSERVATION ORDINANCE NOTES

LA DBS **GRN 18N** DEPARTMENT OF BUILDING AND SAFET

7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system

A. Shall have a minimum of 6 cycles of concentration (blowdown)

B. A minimum of 50% of the makeup water supply

10. Develop and construct a system for onsite reuse of the groundwater where groundwater is being extracted and discharged. Alternatively, the groundwater may be discharged to the sewer.

before hot water arrives.

contain a maximum of 0.6 gallons.

(Los Angeles Plumbing Code Section 610.4.1)

provide reasonable accommodation to ensure equal access to its programs, services and activities.

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of coatings, aluminum

test preventative coatings

Systemating pool coatings:

fration sking coatings

od preservatives

Tub and tile refinish coating

Noterproofing membranes

Opaque secially primers, sealers and undercoaters

Fisher care a list took an orded for Sign specified by the Carthyla Arthurosour Board.
Another a Color of Caggin feet Count Measure, February 5, 2016. Here is not able to
assiste from Sign Arthurosour Source.

VOC AND FORMALDEHYDE LIMITS 2020 Los Angeles Green Building Code **GRN 11**

(Incorporate this form into the plans) 2020 Los Angetes Green Building Code Tables 4:504.1, 4:504.2, 4:504.3, 4:504.5, 5:504.4.1, 5:504.4.2, 5:504.4.3, 5:504.4.5 VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ** Maximum Formsidehada Emission Grams of VO Ciper Litter of Coating. Less Water and Less Exempt Compound intwood stywood veneer core ardwood pływood composite core contract codings ondat inigh gloss coatings Valley is the took an derived from those specified by the Cartonia Air Recordor Equat. Air force Control this selection for Companies records in this claim population with whith it is table for page as information, see Cartonia Code-arrange in the sit. Section of his backers of his consequence of the code of his code of the co ha nedan descheibenbest au anach en Activess of 1/4 beitet (finn). minous roof grimers and besiders oncrete curing compound oncrete curing compounds, Roadways & crete.in aconry sealers heway sealers ry fog coatings aux finishing coatings Clear Top Cost Decorative Coatings Nonporou ire resistive coatings oor coatnes rm-release compound NON-FOLLOWER AND INCOMES AS PREAD BY BOOK TO REALISH SHOULD CONTRACT FOR THE Pragitic arts coatings (stgn paints Eightemperature coatings: ndustrial maintenance coatings Less Wider and Less Evenet Compounds in Grants per Uter ow solids costinus! lagneste cement costing: tic texture coating arpet pad riche sives utdoor carpet acheave: etrestment wash primer

ood fooring achesive abber foor achesives ubdoor achiesives enamic tile adhesives ACT and asphall file ache ctural glazing achesives Other achesives not specifically liste liastic cement welding Adhesive primer for plastic pecial purpose contact achesive... Jural wood member achesive

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(Kev. 01/01/20) www.kebs.com LABDBS 2020 Los Angeles Green Building Code

Nonabsorbent floor and wall finishes

Exterior door protection

24 5.408.3 Excavated soil and land clearing debris

23 5.408.1 Construction waste reduction

NON-RESIDENTIAL BUILDINGS State on plans that the outdoor lighting systems shall be designed and installed to 19. Architectural paints and coatings, adhesives, caulks and sealants shall comply comply with all of the following: The minimum requirements in California Energy Code for Lighting Zones 1-4 b. Backlight, Uplight and Glare (BUG) ratings as defined in IESNA TM-15-11 c. Allowable BUG ratings not exceeding those shown in on Table 5.106.8. 20. The VOC Context Verification Checklist, Form GRN 2, shall be completed and

19 5.407.2.1 Sprinklers

22 5.407.2.2.2 Flashing

5.407.2.2.1

Separate submeters shall be installed in any building or new space within a building that is projected to consume more than 1,000 gal/day. (5.303.1.2)

New plumbing fixtures and fittings shall not exceed the maximum allowable flow rate specified in Section 5.303.3. (5.303.3)

When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80psi, or the shower shall be designed to only allow one showerhead to be in operation at a time. 5. For projects that include landscape work, the Landscape Certification, Form

GRN 12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881)

6. Installed automatic irrigation system controllers are weather- or soil-based (WMELO, § 492.7) Weather-resistant exterior wall and foundation envelope shall be detailed in

conformance with Los Angeles Building Code Section 1403.2 and California 8. Automatic landscape irrigators shall be installed such that it doem't spray on the

9. New exterior entries and openings subject to foot traffic shall be protected against water intrusion using features such as overhangs, awnings and/or recesses for a combined depth over the entry of at least 4 feet.

10. Nonabsorbent interior floor and wall finishes shall be used within at least two feet around and perpendicular to new exterior entries and/or opening subject to

11. Exterior entries shall have flashing integrated with the drainage plane.

12. Only a City of Los Angeles certified hauler will be used for hauling of

13. 100% of excavated soil and vegetation resulting from land clearing shall be 27. Designated outdoor smoking area shall be at least 25 feet from an outdoor air reused or recycled.

14. A final report for the testing and adjusting of all new systems shall be completed 28. Buildings shall meet or exceed the provisions of California Building Code, CCR, and provided to the field inspector prior to final approval. This report shall be

signed by the individual responsible for performing these services: (5.410.4.4) 15. For all new equipment, an Operation & Systems Manual shall be provided to the 29. Buildings that use Demand Control Ventilation shall have CO2 sensors and (5.410.4.5) owner and the field inspector at the time of final inspection.

 All new gas fireplaces must be direct-vent, sealed combustion type. Wood burning fireplaces are prohibited per AQMD Rule 445. (5.503.1, AQMD Rule 445)

17. If the new HVAC system is used during construction, use return air filters with a MERV of 8. Replace all filters immediately prior to occupancy. (5.504.1.3)

8. All new ducts and other new related air distribution components openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and ventilating equipment.

1. Retail food stores of 8,000 sq. ft. or more of conditioned area that have a commercial refrigeration system with a global warming potential (GWP) of 150 or greater shall have leak reduction measures in accordance with LAGBC Section 5.508.2. Separate mechanical plan check is required.

a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will

provide reasonable accommodation to ensure equal access to its programs, services and activities (Rev. 01/01/20) Page 1 of 1 www.ladbs.org

53 5.508.1 Ozone depletion and greenhouse gas reductions 54 5.508.2 Supermarket refrigerant leak reduction

ITEM CODE

25 5.410.1

26 5.410.4

27 5.410.4.2

28 5.410.4.3

29 5.410.4.4

30 5.410.4.5

34 5.504.3

35 5.504.4

36 5.504.4.1

37 5.504.4.3

38 5.504.4.3.1

39 5.504.4.3.2

46 5.505.1

50 5.507.4.1

31 5.410.4.5.1

SECTION

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities

2020 Los Angeles Green Building Code

REQUIREMENTS

(additions that are > 30% of existing floor area

Operation and maintenance manual

Covering of duct openings and protection of

Exterior noise transmission prescriptive method

Exterior noise transmission for roof

Exterior noise transmission for walls

Exterior noise transmission for windows

mechanical equipment during construction

Adhesives, sealants, and caulks

Aerosol paints and coatings

Recycling by occupants

Systems

Procedures

Reporting

32 5.503.1 Fireplace and Woodstoves

42 5.504.4.5 Composite wood products

43 5.504.4.6 Resilient flooring systems

33 5.504.1.3 Temporary ventilation

40 5.504.4.4 Carpet systems

41 5.504.4.4.1 Carpet cushion

44 5.504.5.3 Filters

Testing, adjusting and balancing

Inspections and reports

ENVIRONMENTAL QUALITY

Finish material pollutant control

Paints and coatings

45 5.504.7 Environmental tobacco smoke (ETS) control

52 5.507.4.2 Exterior noise transmission performance method

Indoor moisture control

47 5.506.2 Carbon dioxide (CO₂) monitoring

52 5.507.4.3 Interior sound transmission

Verification

(Rev. 02/12/2020) Page 2 of 2 www.ladbs.org

Non-Residential Occupancies 2020 Los Angeles Green Building Code (Incorporate this form into the plans)

WATER REDUCTION FIXTURE FLOW RATES

FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE				
Showerheads	1.8 gpm @ 80 psi				
Lavatory faucets, residential	1.2 gpm @ 60 psi ^{1,3}				
Lavatory Faucets, nonresidential	0.4 gpm @ 60 psi ^{1,3}				
Kitchen faucets	1.5 gpm @ 60 psP45				
Wash fountains	1.8 gpm for every 20 in. of rim space @60 psi				
Metering faucets	0.2 gallons/cycle				
Metering faucets for wash fountains	0.2 gpm for every 20 in. of rim space @ 60 ps				
Gravity tank type water closets	1.28 gallons/flush ⁸				
Flushometer tank water closets	1.28 gallons/flush®				
Flushometer valve water closets	1.28 gallons/flush ⁶				
Urinals	0.125 gallons/flush				
Clothes Washers	ENERGY-STAR certified				
Dishwashers	ENERGY-STAR certified				

This requirement does not apply to faucets in commercial kitchens.

and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2 and ASME.

As a covered entity under Title II of the Americans with Disabilities A.c., the City of Los Angeles does not discriminate on the basis of disability. and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and additions. (Rev. 01/01/20) www.india.org

FORM

GRN 10

COMMENTS

e.g. note #, detail #

or reason for N/A

SITE PLAN

FLOOR PLAN

SITE PLAN

SITE PLAN

GRN 15 #1

SITE PLAN

SITE PLAN

ROOF PLAN

GRN 18N NOTE #1

GRN 15 NOTE #2

GRN 18N NOTE #2

GRN 15 NOTE #3

NO SHOWER

NO LANDSCAPE

NO LANDSCAPE

GRN 18N NOTE #4

GRN 18N NOTE #6

NO GRAYWATER

GRN 18N NOTE #8

GRN 18N NOTE #9

GRN 15 NOTE #7

GRN 15 NOTE #8

SEE FLOOR PLAN

SEE FLOOR PLAN

SEE DETAILS

GRN 15 NOTE #12

GRN 15 NOTE #13

GRN 18N NOTE #10

REFERENCE

SHEET

Sheet #

or N/A

A-17

A-2

A-4

A-2

A-2

A-15

A-2

A-2

A-3

A-17

A-17

A-17

A-17

N/A

N/A

N/A

A-17

A-17

N/A

A-17

A-17

N/A

A-15

A-4

A-14

A-15

REVISE DATES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PERTAINING TO THE WORK AT THE SITE BEFORE PROCEEDING WITH THE WORK AS INSTRUMENT OF SERVICE, ALL

DESIGN, IDEAS AND INFORMATION SHOWN ON THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF SEC DEVELOPMENT NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF **SEC DEVELOPMENT**. VISUAL **CONTACT WITH THESE DRAWINGS** SHALL CONSTITUTE CONCLUSIVE

EVIDENCE OF ACCEPTANCE OF

THESE RESTRICTIONS.

ADDRESS: 3702 VENTURA BLVD., ERMAN OAKS, CA 9142

GREEN

PROJECT INFO 21041 JOB NUMBER: 4/20/22 DATE DRAWN S.T. DRAWN BY: V.K. CHECKED BY: SCALE: N.T.S.

PERFORMANCE PLATINUM"



PERFORMANCE PLATINUM™ High Efficiency Condensing Tankless Gas Water Heaters are designed to provide continuous hot water

Efficiency

heat exchanger

Easy Installation and Service

Vent with 2", 3" or 4" PVC Built-in condensate neutralizer 1/2" Gas line compatibility up to 24 ft."

Exclusive! Maintenance Notice

Setting - Alerts homeowner, after 500 hours of use, to call for service (optional)

Self-diagnostic system for easy installation and service High-altitude capability – up to

8,400 ft. elevation above sea level? Digital remote control and 10 ft, of thermostat wire included - shows temperature setting and service codes Requires 120V power supply (indoor

models only) Performance

Industry Best! Low Flow Activation – Minimum flow rate of .26 GPM and minimum activation flow rate of .40 GPM ensures hot water even in low demand situations

Recirculation Pump Kit-Ready -Providing faster hot water at the tap and savings of up to 12,000 gallons water/year3 Exclusive! Hot Start Programming -

Minimizes cold water bursts by staying in ready-fire state for back-to-back hot water needs

Technology EcoNet® Enabled – all Tankless products from 2010 to present can connect to EcoNet mobile app via Tankless EcoNet Accessory Kit

(REWRA630TWH) For higher demand applications, easily link multiple tankless units to operate as

- one system: - 2 Units: EZ Link cable
- Up to 6 units: MIC-6 Control Board
- Up to 20 units: MIC-185 plus MICS-180 manifold control assembly





Environmentally Friendly Low Emissions – Ultra low NOx burner meets SCAQMD rule 1146.2 93 UEF with stainless steel condensing

by reducing flow at the tap until set temperature is achieved (optional) Exclusive! Guardian OFW™ overheat

Exclusive! Water Savings Setting

- upon activation, this setting can

save up to 1,100 gallons water/year4

film wrap - prevents dangerous temperatures and provides industry Industry Best! Freeze protection

Maximum water temperature is 140°F. For higher temperature applications, upgrade kits are available

Warranty 12-Year heat exchanger – residential, 5-year heat exchanger – commercial, 5-year parts and 1-year labor See Warranty Certificate for complete information



best side-to-side clearance of 1/2 inch
PERFORMANCE PLATINUM High Efficiency

Condensing Tankless 11,000-199,900 BTU/h







12/17 FORM NO. THD-3195 Rev. 8

The new degree of comfort?

	DESCRIP	TION			FEATURES ROUGH						ING IN DIMENSIONS (SHOWN IN INCHES)					ENERGY INFO.
MODEL NUMBER	GAS INPUT BTUH	TYPE	NUMBER OF BATHROOMS*	TEMP.	MIN. FLOW/ ACTIVATION GPM	GPM 0.67* RUS MAX	GPM 040° FESE MAX.	MAX.	COMME		HEIGHT	WIDTH	DEFTH	VENT DIAM.	SHIP WEIGHT (LB4)	UNIFORM ENERGY FACTOR (UEF)
Rheem Perfo	omano	e Platine	um™ ECO	H200												
ECOH2000VLN-1	11,000- 199,900	Indoor Direct Vers	.4	85° to 140° F	0.28/0.40	5.7	8.5	9.5	3/4	3/4	27-1/2	18-1/2	9-3/4	21,31 or 41 PVC 2-Pipe	82	0.93
ECOH2000VELN-1 (EcoNet* Included)	11,000- 199,900	Indoor Direct Vent	-4	85° to 140° F	0.28/0.40	5.7	8.5	9.5	3/4	3/4	27-1/2	18-1/2	9-3/4	21, 31 or 41 PVC 2-Pipe	82	0.98
ECOH2000LN-1	11,000- 199,900	Outdoor	-4	85° to 140° F	0.26/0.40	5.6	8.5	9.5	3/4	3.44	27-1/2	18-1/2	9-3/4	N/A	82	0.93
ECOH200XELN-1 (EcoNet* included)	11,000- 199,900	Outdoor	- 4	85° to 140° F	0.26/0.40	5.6	8.5	9.5	3/4	3/4	27-1/2	18-1/2	9-3/4	N/A	82	0.93
Rheem Perfo	omano	e Platin	um™ ECO	H180												
ECOH1800VLN-1	11,000- 180,000	Indicor Direct Vers	3 - 4	85° to 140° F	0.26/0.40	5.2	2.2	9.0	3/4	3/4	27-1/2	18-1/2	9-3/4	2", 3" or 4" PVC 2 Pipe	82	0.93
EGOH1800VELN-1 (EcoNet* included)	11,000- 180,000	Indicor Direct Vers	3 - 4	85° to 140° F	0.26/0.40	5.2	7.7	9.0	3/4	3/4	27-1/2	18-1/2	9-3/4	21, 31 or 41 PVC 247894	82	0.98
ECOH1800LN-1	11,000- 180,000	Outdoor	3 - 4	85° to 140° F	0.25/0.40	5.2	7.7	9.0	3/4	3/4	27-1/2	18-1/2	9-3/4	N/A	82	0.93
ECOHIBBRELN-1 (Econor* included)	11,000- 180,000	Outdoor	3 - 4	85° to 140° F	0.26/0.40	5.2	7.7	9.0	3/4	3/4	27-1/2	18-1/2	9-3/4	N/A	82	0.98
Rheem Perfo	ormanc	e Platin	um™ ECO	H160												
E00H1600VLN-1	11,000-	Indicor Direct Versi	3	85° to 148° F	0.260.40	4.6	6.7	8.4	3/4	3/4	27-1/2	18-1/2	9-3/4	21, 31 or 41 PVC 2-Pipe	82	0.93
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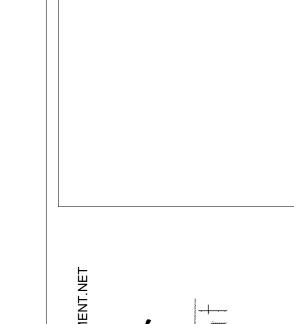
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DRAWN BY:	S.T
CHECKED BY:	V.K
SCALE:	N.T.S

DEPARTMENT OF TOXIC SUBSTANCES CONTROL

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Fact Sheet, January 2010

Universal Waste Fact Sheet

California's Universal Waste Rule allows individuals and businesses to transport, handle and recycle certain common hazardous wastes, termed universal wastes, in a manner that differs from the requirements for most hazardous wastes. The more relaxed requirements for managing universal wastes were adopted to ensure that they are managed safely and are not disposed of in the trash.

What are Universal Wastes?

Universal wastes are hazardous wastes that are widely produced by households and many different types of businesses. Universal wastes include televisions, computers and other electronic devices as well as batteries, fluorescent lamps, mercury thermostats, and other mercury containing equipment, among others.

The hazardous waste regulations (Cal. Code Regs, tit. 22, div. 4.5, ch. 11 section 66261.9) identify seven categories of hazardous wastes that can be managed as universal wastes. Any unwanted item that falls within one of these waste streams can be handled, transported and recycled following the simple requirements set forth in the universal waste regulations (UWR) (Cal. Code Regs, tit. 22, div. 4.5, ch. 23)

Universal wastes are:

1. Electronic devices: Includes any electronic device that is a hazardous waste (with or without a Cathode Ray Tube (CRT)), including televisions, computer monitors, cell phones, VCRs, computer CPUs and portable DVD players.

2. Batteries: Most household-type batteries, including rechargeable nickel-cadmium batteries, silver button batteries, mercury batteries, alkaline batteries and other batteries that exhibit a characteristic of a hazardous waste

3. Electric lamps: Fluorescent tubes and bulbs, high intensity discharge lamps, sodium vapor lamps and electric lamps that contain added mercury, as well as any other lamp that exhibits a characteristic of a hazardous waste. (e.g., lead).

4. Mercury-containing equipment: Thermostats, mercury switches, mercury thermometers, pressure or vacuum gauges, dilators and weighted tubing, mercury rubber flooring, mercury gas flow regulators, dental amalgams, counterweights, dampers and mercury

added novelties such as jewelry, ornaments and footwear. 5. CRTs: The glass picture tubes removed from devices such as televisions and computer

6. CRT glass: A cathode ray tube that has been accidently broken or processed for

Non-empty aerosol cans

Universal Wastes may not be disposed of in the trash!

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and shipping universal wastes). Examples: · A household hazardous waste facility

2. A universal waste transporter. Examples:

dispose of hazardous waste).

A curbside HHW collection program

A package service (e.g., postal service, UPS)

A destination facility that offers a pick-up service

· A collection event

A "Take-it-Back Partner" such as a retailer or manufacturer

1. Another handler (typically a business that specializes in collecting, storing, accumulating

3. A universal waste destination facility (generally, a facility with a permit to treat, store, or

For more information, see DTSC's Universal Waste Web page at: http://www.dtsc.ca.gov/HazardousWaste/UniversalWaste/index.cfm

Contact your DTSC regulatory assistance officer at: (800) 728-6942

Search engines available to find locations accepting universal waste in your area: E-Recycle.org; Earth911.org; CalRecyle database; DTSC map; HHW list;

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Regulatory Standards for Universal Waste

The UWR has separate requirements for of each of the three types of regulated entities:

- 1. Universal waste handlers 2. Universal waste transporters
- 3. Destination Facilities

Universal Waste Handlers

A universal waste handler is a generator of universal waste or the owner or operator of a facility that receives universal waste from another universal waste handler, accumulates universal waste, and sends universal waste to another universal waste handler, a facility that accepts hazardous waste, or a foreign country.

A universal waste handler may be:

- 1. A person (e.g., a household or business) who generates universal waste but does not accept universal waste from others
- 2. A person who accepts and accumulates universal waste generated by others at his or her
- 3. A person who accepts universal waste generated by others and conducts certain treatment and recycling activities allowed by the universal waste handler regulations

Management Requirements for Universal Waste Handlers (Cal. Code Regs, tit. 22, sections 66273.30-66273.39; additional requirements for handlers who conduct authorized treatment, Cal. Code Regs, tit. 22, sections 66273.70-.77)

- Do not dispose of universal waste or treat universal waste except as provided for in the
- Notify DTSC and/or obtain an EPA identification number
- Use proper containment—non-leaking, compatible containers
- Segregate universal waste in distinct areas
- Determine if materials generated when handling/recycling are hazardous wastes
- Comply with applicable requirements for hazardous waste
- If applicable, comply with zoning requirements when storing universal wastes
- Have spill kits readily available to deal with accidental spills (mercury-containing
- Use proper labeling and markings
- Accumulate universal waste no longer than one year

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- Provide personnel training to personnel who manage universal waste, or who supervise personnel who manage universal waste and keep training records
- · Respond to releases of universal waste or its contents; determine if spill residuals are hazardous waste
- · Track shipments by keeping records of what was received and shipped (name, address, quantities) for three years

Universal Waste Transporters

A universal waste transporter is a person engaged in the offsite transportation of universal waste by air, rail, highway or water. A universal waste transporter may be:

- 1. Universal waste handler carrying universal waste in his or her own vehicle
- 2. A package shipping service (e.g., US Postal Service; FedEx, UPS)
- 3. A commercial carrier (e.g., a trucking company, a hauler specializing in universal waste, or the operator of a destination facility that offers a universal waste pick-up service)
- If you do not own or operate a facility that accepts, generates, accumulates, or stores universal waste, but you pick up and transport universal waste (e.g., electronic devices from office complexes) to a recycling or collection facility, you are a universal waste transporter. Universal waste transporters do not need to notify DTSC or submit annual reports for their transportation activities.
- Universal waste transporters may store universal waste at a transfer facility for up to 10 days (depending on local zoning). A universal waste transporter who exceeds this limit is considered a universal waste handler and is subject to the handler requirements summarized above.

Destination Facilities

A destination facility is a fully-regulated hazardous waste facility that treats, disposes of, or recycles a specific type of universal waste. Examples of destination facilities are hazardous waste recycling facilities and hazardous waste landfills. A destination facility shall manage the universal waste in accordance with the requirements and conditions in its hazardous waste facility permit, unless authorized by section 66273.60 of title 22 of the California Code of Regulations to manage it pursuant to the reduced requirements applicable to universal waste handlers. A destination facility is required to follow certain rules for shipping universal wastes off-site and for rejecting shipments that contain universal waste and is required to keep records of all shipments received for three years. A facility that only accepts and accumulates universal waste is not a destination facility. Such a facility is regulated as a universal waste handler.

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Households and Conditionally Exempt Small Quantity Universal Waste Generators (CESQUWG)

Two categories of universal waste handlers-households and CESQUWGs-are exempt from most of the requirements of the universal waste regulations provided they comply with certain conditions. Handlers who qualify for these exemptions are not required:

- · To obtain an EPA ID number or otherwise notify DTSC;
- · To keep records of shipments or provide annual reports to DTSC; or
- To label their universal waste.

A household is defined to include a single detached residence (e.g., a house) or a single unit of a multiple residence unit (e.g., an apartment or condominium). Households that generate hazardous wastes other than universal wastes (e.g., paints and motor oil) can visit DTSC's household hazardous waste Web page (http://www.dtsc.ca.gov/HazardousWaste/UniversalWaste/HHW.cfm) for information on how to properly dispose of them.

A Conditionally Exempt Small Quantity Universal Waste Generator (CESQUWG) is a universal waste generator who produces less than 100 kilograms (220 pounds) of RCRA hazardous waste, including universal waste that is RCRA universal waste and less than 1 kilogram of acutely hazardous waste in a calendar month. (RCRA hazardous waste is hazardous waste that is regulated under the hazardous waste regulations adopted by the U.S. Environmental Protections

Pursuant to section 66273.8 of title 22 of the California Code of Regulations, a generator who meets the definition of a household or a CESQUWG is exempt from universal waste handler requirements provided he or she:

- 1) Does not dispose of universal waste:
- 2) Relinquishes universal waste only to another universal waste handler, a universal waste transporter, a destination facility, or a curbside household hazardous waste collection program; and
- 3) Does not conduct treatment of universal waste, except for limited activities enumerated in the regulations (e.g., removing batteries, light bulbs, or mercury switches). This exemption applies only to universal waste generated by the household (e.g. light bulbs, computers, televisions, thermostats, cell phones, etc.), not to universal waste accepted from other people.

Where can I send universal wastes?

A handler may not send universal waste to a municipal solid waste (garbage) landfill or a non-hazardous waste recycling center. All handlers of universal waste must relinquish their universal waste to one of the following:

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